



COMMUNITY DEVELOPMENT DEPARTMENT - PLANNING DIVISION  
1243 NATIONAL CITY BLVD., NATIONAL CITY, CA 91950

**PLANNING COMMISSION STAFF REPORT**

Title: PUBLIC HEARING – DETERMINATION THAT THE PROJECT IS CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) UNDER CLASS 3 OF THE CEQA GUIDELINES SECTION 15303 (NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES) AND ZONE VARIANCE TO DEVIATE FROM MINIMUM REQUIREMENTS FOR LOT AREA, STREET FRONTAGE, AND SETBACKS AT A VACANT PROPERTY LOCATED ON EAST 5TH STREET BETWEEN HIGHLAND AVENUE AND I AVENUE.

Case File No.: 2025-21 ZV

Location: East 5<sup>th</sup> Street between Highland Avenue and I Avenue

Assessor’s Parcel Nos.: 556-311-10-00

Staff report by: David Welch, Principal Planner

Applicant: Flavia Gomes

Zoning designation: Small Lot Residential (RS-2)

Adjacent use and zoning:

North: Residential use across East 5<sup>th</sup> Street / RS-2

East: Residential use / RS-2

South: Residential use / RS-2

West: Residential with Commercial uses beyond Highland Avenue / Minor Mixed-Use Corridor (MXC-1)

Environmental review: Categorically exempt from environmental review pursuant to Class 3, Section 15303 (New Construction or Conversion of Small Structures)

Staff recommendation: Approve

Staff Recommendation

Staff is recommending approval of the Zone Variance request, subject to the recommended conditions in the attached resolution and a determination that the project is exempt from California Environmental Quality Act (CEQA).

Executive Summary

The applicant proposes to construct a one story, 803 square-foot single-family residence and 630 square-foot attached accessory dwelling unit (ADU) on an existing 2,500 square-foot vacant lot on East 5th Street between Highland Avenue and I Avenue. Due to the size and shape of the lot, a variance is being requested to deviate from the minimum lot area, street frontage, and setbacks for the Small Lot Residential (RS-2) zone.

On November 17, the Planning Commission voted to continue the public hearing to allow the applicant to look into a possible two-story design and a modified setback request. The applicant's revised drawings are attached as Exhibit A, the applicant's preferred one-story design, and Exhibit B, the Planning Commission's requested two-story design. Exhibit A provides for a four-foot side yard setback on the west side of the property instead of the original request for three feet. On the east side, a reduced setback of three feet and six inches is requested. In addition, the rear yard setback for the attached ADU was increased to three feet while the front yard setback was reduced to 11 feet. The project design in Exhibit B includes a 1,047-square foot home on the first floor and an 870 square-foot ADU on the second floor, which is accessed via an exterior staircase. Exhibit B has the same side setbacks, but the front yard request would be for 16 feet and the rear yard for 20 feet. Staff is recommending approval of the applicant's preferred design (Exhibit A).

Site Characteristics

The project site is comprised of a 2,500 square-foot vacant parcel located on East 5<sup>th</sup> Street between Highland Avenue and "I" Avenue. The rectangular-shaped lot is a remnant parcel from divisions of land for the development of adjacent properties. The lot is of a substandard size for the RS-2 zone and would not allow for the construction of a home without the granting of a variance. The lot has 25 feet of street frontage along East 5<sup>th</sup> Street. The lot is approximately 100 feet deep along its eastern and western boundary. The size of the lot results in a constrained buildable area when required setbacks are accounted for. The property is zoned RS-2 and has a Low Density Residential General Plan designation.

### Proposed Project

The applicant is proposing to construct a single-family residence with an attached ADU on a vacant, substandard lot. The proposed 803 square-foot residence is planned to be one story with three bedrooms and two bathrooms. The attached 630 square-foot ADU is planned to be one story with one bedroom and one bathroom. In addition to the minimum lot size and street frontage requirements, the applicant is requesting reduced setbacks. The applicant is requesting an 11-foot front yard setback, a three-foot six-inch side yard setback to the east, a four-foot side yard to the West, and a three-foot rear yard setback for the ADU.

### Analysis

#### General Plan

The General Plan land use designation for the subject property is Low Density Residential, which specifies a maximum density of nine dwelling units per acre. The project has a proposed density (not including the ADU) of approximately 17 units per acre, which is double the generally-allowed density. However, the property owner has the right to develop a single-family residence on the lot per state law. Moreover, Senate Bill 9 (SB 9) allows for the creation of new lots that are less than the required minimum lot size. Therefore, the project is consistent with state law, and thus, the General Plan.

This project contributes to affordable housing and infill development, which is encouraged by the following General Plan policies:

***Policy LU 2.3: Encourage housing types that are often more affordable, such as micro-units and accessory dwelling units.***

***Policy HE 1.4: Promote the development of accessory dwelling units (ADUs) throughout National City to meet residential housing needs.***

***Policy HE 2.1: Promote residential development on underutilized land and remove barriers to infill development.***

The proposal is a residential infill project including a single-family residence and an ADU on a vacant lot that would ordinarily not be permitted on a substandard lot. The proposal also provides an additional home ownership opportunity, which is consistent with the City's Housing Element.

Land Use Code

The Land Use Code (LUC) includes development standards for zoning districts. For the RS-2 zone, there are minimum standards for lot area, street frontage, and setbacks. The proposed single-family residence would not meet several requirements within the LUC and is requesting a zone variance to deviate from the prescribed rules.

As discussed above, the property is 2,500 square-feet in size with a street frontage of 25 feet along East 5<sup>th</sup> Street. For this reason, the property is substandard in size and logically presents challenges to the development of a single-family residence that would not exist on an ordinary lot. The minimum lot area and street frontage required by the LUC for the RS-2 zone is 5,000 square feet and 50 feet respectively. With the development of the adjacent properties, the lot has been reduced in size and shape and has remained in a vacant state for several decades. The request for a variance for a reduced minimum lot area and street frontage would allow for the development of a single-family home and ADU consistent with other properties in the RS-2 zone.

Setback requirements for a single-family residence in the RS-2 zone include a 20-foot front yard setback, five-foot side yard setbacks, and a 25-foot rear yard setback. Setback requirements for an ADU include a 15-foot front yard setback and four-foot side and rear yard setbacks. In order to construct the proposed primary residence, the applicant is requesting a reduced (11-foot) front yard setback, a (three-foot six-inch) side yard setback to the east, a (four-foot) side yard to the West, and a (three-foot) rear yard setback for the ADU.

The substandard size and shape of the lot would not allow for the placement of a single-family home and an attached ADU of a typical size without reduced setbacks. The proposed size of the one-story single-family home is of a similar size and character to other homes in the area. An ADU can be built up to 1,200 square-feet, however, the applicant is requesting a small ADU of 630 square-feet. The requested reduced front yard setback is to serve a covered porch which is a common feature seen in the surrounding residences.

Mailing

All property owners and occupants within 300 feet are required to be notified of a public hearing for a Zone Variance application. Notice of this public hearing was sent to 184 occupants and owners.

Prior to the public hearing held on November 17, 2026, the Planning Division received one public comment as part of this public hearing notice. There were also four speakers at the public hearing in opposition to the project.

#### Department Comments

Comments were provided by the Fire Department related to standard requirements for new developments. The Building Division and Engineering Department provided comments for additional considerations for stormwater and fire safety specific to the request for zero-foot setbacks. The comments have been incorporated as conditions of approval.

#### Findings for Approval

The Municipal Code contains three required findings for Zone Variances as follows:

1. Variances from the terms of Title 18 shall be granted only when, because of special circumstances applicable to the property, including size, shape, topography, location or surroundings, the strict application of Title 18 deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning classification.

The rectangular-shaped lot is a remnant parcel from divisions of land for the development of adjacent properties resulting in a substandard lot with half the minimum lot size and street frontage requirements in the zone. Given the size and shape of the lot, there is no room to build a residence of a typical size and an ADU without encroaching into the required property setbacks.

2. Any variance granted shall be subject to such conditions as will assure that the adjustment thereby authorized shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which such property is situated.

Existing development within the RS-2 zone and vicinity is constructed with less than required lot size, street frontage, and setbacks. Developed properties with less than 5,000 square feet of lot area along E 5<sup>th</sup> Street and I Avenue are common. Most residential properties in the area do not conform to setback regulations. The requested reduction will result in development consistent with the surrounding area.

3. A variance shall not be granted for a parcel of property which authorizes a use or activity which is not otherwise expressly authorized by the zone regulation governing the parcel of property.

The request is to construct a single-family home and an ADU, which is a permitted use in the RS-2 zone.

One additional finding is required for this project:

4. The proposed project has been reviewed in compliance with the California Environmental Quality Act (CEQA).

The proposed project has been reviewed in compliance with the California Environmental Quality Act (CEQA) and has been determined to be categorically exempt from environmental review pursuant to Class 3, Section 15303 (New Construction or Conversion of Small Structures) for which a Notice of Exemption will be filed subsequent to approval of this Zone Variance. Class 3 consists of construction and location of limited numbers of new, small facilities or structures among other similar projects. One single-family residence, or a second dwelling unit in a residential zone are explicitly provided for under this exemption. The proposed project is to construct one single-family residence and an ADU.

#### Conditions of Approval

Standard Conditions of Approval related to new development projects are included as well as comments from the Fire, Building, and Engineering Department.

#### Summary

The proposed single-family residence and accessory dwelling unit (ADU) are permitted uses for which the applicant is requesting several variances. The lot size and shape would make it impractical to construct an ordinary single-family residence and ADU in conformance with applicable regulations within Land Use Code. Staff is recommending approval of the variance request for reduced lot area, street frontage, and setbacks subject to the recommended Conditions of Approval.

Options

1. Find the project exempt from CEQA under Class 3 of the CEQA Guidelines Section 15303 or other exemption and approve 2025-21 ZV subject to the conditions included in the Resolution, and based on the findings included in the Resolution or other findings to be determined by the Planning Commission; or,
2. Find the project not exempt from CEQA and/or deny 2025-21 ZV based on the attached findings, or findings to be determined by the Planning Commission; or,
3. Continue the item to a specific date in order to obtain additional information.

Attachments

1. Draft Resolution
2. Overhead
3. Applicant's Plans (Exhibits A and B, Case File No. 2025-21 ZV, dated 3/10/2026)
4. Public Hearing Notice (Sent to 184 property owners and occupants)
5. Public Comment

RESOLUTION NO. 2026-02

A RESOLUTION OF THE PLANNING COMMISSION  
OF THE CITY OF NATIONAL CITY, CALIFORNIA DETERMINING THAT THE  
PROJECT IS CATEGORICALLY EXEMPT FROM THE CALIFORNIA  
ENVIRONMENTAL QUALITY ACT (CEQA) UNDER CLASS 3 OF THE CEQA  
GUIDELINES SECTION 15303 (NEW CONSTRUCTION OR CONVERSION OF  
SMALL STRUCTURES) AND ZONE VARIANCE TO DEVIATE FROM MINIMUM  
REQUIREMENTS FOR LOT AREA, STREET FRONTAGE, AND SETBACKS AT A  
VACANT PROPERTY LOCATED ON EAST 5TH STREET BETWEEN HIGHLAND  
AVENUE AND I AVENUE.

CASE FILE NO. 2025-21 ZV

APN: 556-311-10

WHEREAS, the Planning Commission of the City of National City considered a Zone Variance for a new single-family residence and accessory dwelling unit (ADU) to be located at East 5th Street between Highland Avenue and I Avenue (APN: 556-311-10). At a duly advertised public hearing held on March 16, 2026, at which time oral and documentary evidence was presented; and,

WHEREAS, at said public hearings the Planning Commission considered the staff report contained in Case File No. 2025-21 ZV maintained by the City and incorporated herein by reference along with evidence and testimony at said hearing; and,

WHEREAS, this action is taken pursuant to all applicable procedures required by State law and City law.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of National City, California, that the testimony and evidence presented to the Planning Commission at the public hearing held on March 16, 2026, support the following findings:

1. The rectangular-shaped lot is a remnant parcel from divisions of land for the development of adjacent properties resulting in a substandard lot with half the minimum lot size and street frontage requirements in the zone. Given the size and shape of the lot, there is no room to build a residence of a typical size and an ADU without encroaching into the required property setbacks.
2. Existing development within the RS-2 zone and vicinity is constructed with less than required lot size, street frontage, and setbacks. Developed properties with less than 5,000 square feet of lot area along E 5th Street and I Avenue are

common. Most residential properties in the area do not conform to setback regulations. The requested reduction will result in development consistent with the surrounding area.

3. That the request is to construct a single-family home and an ADU, which is a permitted use in the RS-2 zone.
4. The proposed project has been reviewed in compliance with the California Environmental Quality Act (CEQA) and has been determined to be categorically exempt from environmental review pursuant to Class 3, Section 15303 (New Construction or Conversion of Small Structures) for which a Notice of Exemption will be filed subsequent to approval of this Zone Variance. Class 3 consists of construction and location of limited numbers of new, small facilities or structures among other similar projects. One single-family residence, or a second dwelling unit in a residential zone are explicitly provided for under this exemption. The proposed project is to construct one single-family residence and an ADU.

BE IT FURTHER RESOLVED that the application for a Conditional Use Permit is approved subject to the following conditions:

#### General

1. This *Zone Variance* authorizes a single-family residence and an accessory dwelling unit (ADU) to deviate from requirements for minimum lot area, minimum yard setbacks, and minimum street frontage at a vacant parcel on East 5th Street (APN: 556-311-10). Except as required by conditions of approval, all plans submitted for permits associated with the project shall conform to Exhibit A, Case File No. 2025-21 ZV, dated 3/10/2026.
2. Before this *Zone Variance* shall become effective, the applicant and the property owner shall both sign and have notarized an Acceptance Form, provided by the Planning Division, acknowledging and accepting all conditions imposed upon the approval of this permit. Failure to return the signed and notarized Acceptance Form within 30 days of its receipt shall automatically terminate the *Zone Variance*. The applicant or owner shall also submit evidence to the satisfaction of the Planning Division that a Notice of Restriction on Real Property is recorded with the County Recorder. The applicant or owner shall pay necessary recording fees to the County. The Notice of Restriction shall provide information that conditions imposed by approval of the *Zone Variance* are binding on all present or future interest holders or estate holders of the property. The Notice of Restriction shall be approved as to form by the City Attorney and signed by the Director of Community Development prior to recordation.

3. This permit shall become null and void if not exercised within one year after adoption of the resolution of approval unless extended according to procedures specified in the Municipal Code.
4. *Within four (4) days of approval*, pursuant to Fish and Game Code 711.4 and the California Code of Regulations, Title 14, Section 753.5, the applicant shall pay all necessary environmental filing fees for the San Diego County Clerk. Checks shall be made payable to the San Diego County Clerk and submitted to the National City Planning Department.

### Building

5. The proposed construction must be entirely contained within the property bounds.
6. The construction assembly for the proposed structure abutting the property line would be required to be 1-hour fire resistance rated up to a minimum of 5-feet from the property line. This would include exterior walls, return walls, interior walls, roof assembly, etc.
7. No projections, penetrations, or wall openings are allowed on the walls of the proposed structure that are abutting the property line.
8. A complete plan check submittal and an issued building permit is required prior to any work beginning and, through that review, additional comments or requirements may incur.

### Engineering

9. Cross lot drainage is strictly prohibited in the City of National City. Vertical encroachment of rain gutters into adjacent properties will not be allowed, unless an easement is obtained with the adjacent property owner.
10. Building plans will be required to show the foundation, building pad structure, and supporting details. This information is needed to study the method of pad development to ensure that adjacent properties are protected from damage during construction or encroachment onto adjacent properties by the builders.
11. The existing utility easement shall be dimensioned and the easement owner identified. No encroachment of the proposed structures shall be permitted into, under over or through said easement without the direct written permission from the owner of the easement.
12. A grading plan for the site shall be submitted to the National City Engineering/Public Works Department (Engineering). The plans shall be prepared by a registered civil engineer licensed in the State of California. The plans shall be submitted together with copies of the following items: a cost estimate prepared by the Engineer of Work for all

items shown in the grading/improvement plans, a Title Report, a Hydrology Study, a completed Storm Water BMP Applicability Form, a check in the amount equal to three percent (3%) of the engineer's cost estimate or \$10,000, whichever is greater, and a completed copy of the Grading and Improvement application form.

13. A Bond equal to one hundred percent of the Engineer's Cost Estimate shall be posted with Engineering prior to any permit for grading or construction is issued.
14. Prior to any earthwork commencing, the contractor shall submit a haul route to Engineering.
15. The owner shall pay the sewer capacity fee in the amount of \$1,930.
16. The owner shall apply for new addresses with Engineering.

### Fire

17. Project shall be designed to code. The National City Fire Department utilizes all current codes and ordinances. Currently, we are using the 2022 edition of the California Fire Code (CFC), National Fire Protection Association (NFPA), and Health Safety Codes (HSC).
18. Fire sprinkler system will be required for both the single family and ADU development.
19. The fire code official shall have the authority to require or permit modifications to the required access widths where they are inadequate for fire rescue operations or where necessary to meet the public safety objectives of the jurisdiction.
20. If entrance/exit gates are used, they shall be equipped with Knox Box and Emergency Strobes so as to provide emergency vehicle access and egress. A Knox Key Switch shall be required in conjunction with strobe for emergency access, and shall be placed at front of property. Please contact the National City Fire Department for exact field location.
21. Fire hydrants that may be located throughout the project as not to have a separation distance greater than 300 feet. Fire hydrants to be located within 300 feet of all locations which are roadway accessible. Measurement starts from nearest public fire hydrant to project.
22. An approved water supply for fire protection, either temporary or permanent, shall be made available as soon as combustible material arrives on the site.
23. A letter describing code compliant water flow shall be requested by the applicant early, so as to identify adequate water supply necessary for firefighting on site.
24. Where there is conflict between a general requirement and a specific requirement, the specific requirement shall be applicable. Where, in a specific case, different sections of

this code specify different materials, methods of construction or other requirements, the most restrictive shall govern.

25. Should any plan corrections be required, contractor must correct the plan and resubmit to the Fire Department for approval once again prior to installation

#### Planning

26. Plans submitted for building permits must meet appropriate design guidelines as specified by the Land Use Code.

27. A landscape and underground irrigation plan shall be submitted with building permit plans as part of the construction permitting process in compliance with Land Use Code Chapter 18.44.

#### Indemnification Agreement

The Applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Applicant of any claim, action, or proceeding. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, the Applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Applicant shall not be required to pay or perform any settlement unless such settlement is approved by the Applicant.

BE IT FURTHER RESOLVED that copies of this Resolution be transmitted forthwith to the applicant and to the City Council.

BE IT FINALLY RESOLVED that this Resolution shall become effective and final on the day following the City Council meeting where the Planning Commission resolution is set for review, unless an appeal in writing is filed with the City Clerk. The City Council may, at that meeting, review or appeal the decision of the Planning Commission by setting the matter for a public hearing.

CERTIFICATION:

This certifies that the Resolution was adopted by the Planning Commission at their meeting of March 16, 2026, by the following vote:

AYES:

NAYS:

ABSENT:

ABSTAIN:

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CHAIRPERSON

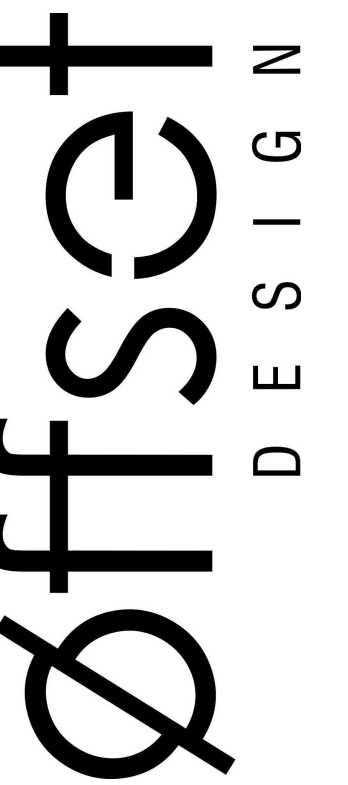
2025-21 ZV – East 5<sup>th</sup> Street (APN: 556-311-10-00) – Overhead



**EXHIBIT A**  
CASE FILE NO.: 2025-21 ZV  
DATE: 3/10/2026

# 5TH STREET RESIDENCE DISCRETIONARY PERMIT

800 E 5TH STREET, NATIONAL CITY, CA 91950



3509 DEL REY STREET, UNIT  
213, SAN DIEGO CA, 92109  
858-344-7702

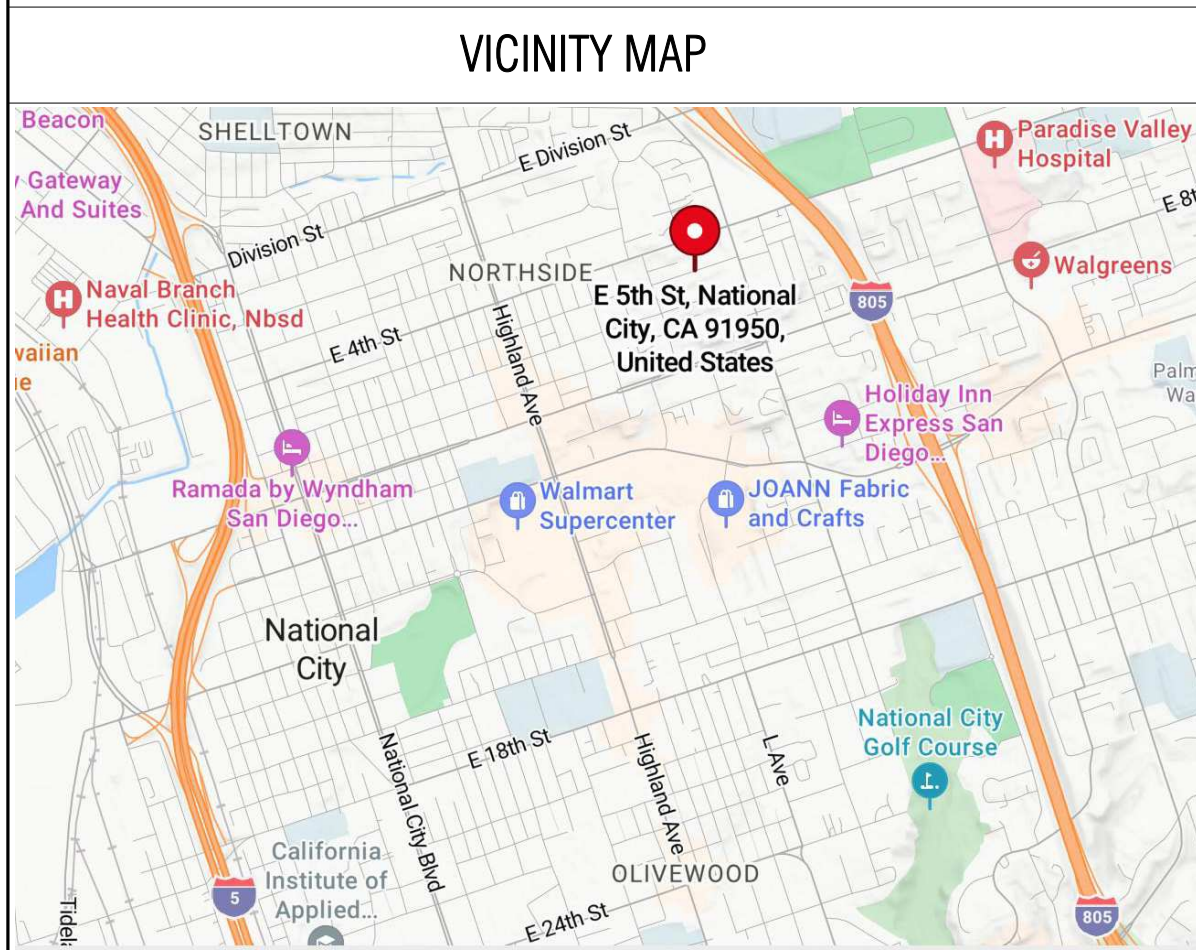
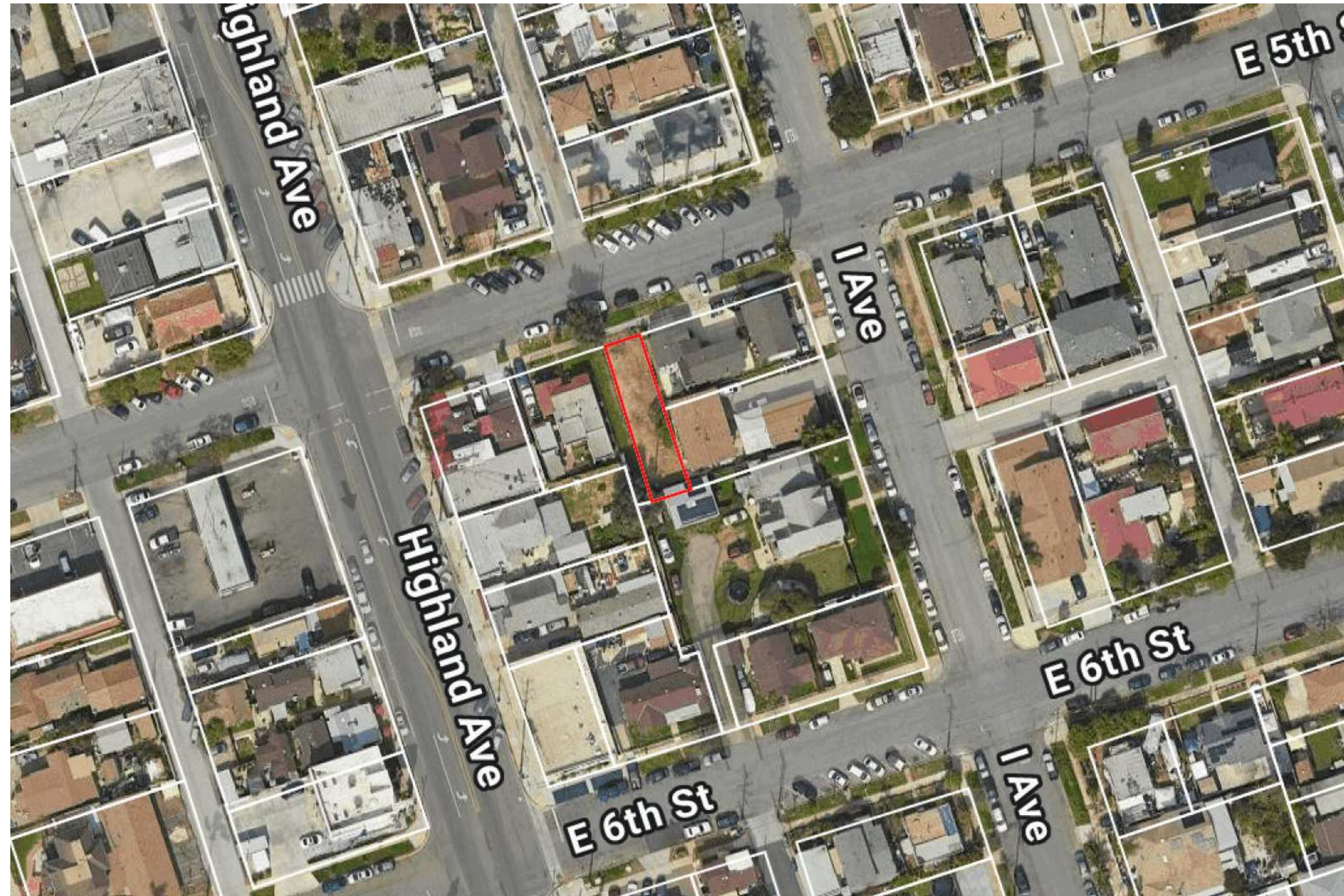
5TH STREET RESIDENCE

DISCRETIONARY PERMIT

DISCRETIONARY REVIEW

800 E 5TH STREET, NATIONAL CITY, CA 91950

PROJECT NUMBER: 2025-112



ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AND REGULATIONS:

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 MECHANICAL CODE
- 2022 PLUMBING CODE
- 2022 ELECTRICAL CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2022 CALIFORNIA ENERGY CODE

THESE PLANS AND ALL WORK SHALL COMPLY WITH THE CALIFORNIA BUILDINGS STANDARDS CODE FOUND IN THE STATE OF CALIFORNIA TITLE 24 CCR AS AMENDED AND ADOPTED BY THE CITY OF NATIONAL CITY

**ATTACHMENT 3**

PROJECT TEAM	ZONING INFORMATION	VARIANCES REQUEST	SCOPE OF WORK
<p><b>OWNER</b></p> <p>JOSEPH GARRIE  238 WEST D STREET, ENCINITAS CA 92024</p> <p><b>DESIGNER</b></p> <p>OFFSET DESIGN DRAFT  CONTACT: FLAVIA GOMES  3509 DEL REY STREET, UNIT 213  SAN DIEGO, CA 92109  PH: 858-344-7702  EMAIL: FLAVIA@OFFSETDESIGNDRAFT.COM</p>	<p>ZONING: RS-2  FRONT SETBACK: 20' - ADU 15'  SIDE SETBACK: 5' - ADU 4'  REAR SETBACK: 25'</p> <p><b>PARCEL INFORMATION</b></p> <p>APN: 556-311-10-00  YEAR BUILT: N/A  LEGAL DESCRIPTION: LOTS 17, 18, 19 AND 20 AND THE EASTERLY 10 FEET OF THE NORTHERLY 100 FEET OF LOT 21 W.W. PADRICKS SUBDIVISION OF THE SOUTHERLY ONE-HALF OF 20 ACRE LOT 3, QUARTER SECTION 131, RANCHO DE LA NACION, IN THE CITY OF NATIONAL CITY, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 412, FILED IN THE OFFICE OF THE RECORDER OF SAN DIEGO COUNTY, OCTOBER 15, 1887, EXCEPTING THE NORTHEASTERLY 100 FEET OF LOTS 17, 18, 19 AND 20 ABOVE DESCRIBED.</p> <p>#STORIES: N/A  OCCUPANCY TYPE: R3  TYPE OF CONSTRUCTION: TYPE V-B - NON-SPRINKLERED  TOTAL SITE SQ.FT. ≈ 0.06 acres   ≈ 2,500 SF  SITE ADDRESS: 800 BLOCK OF E 5TH STREET, NATIONAL CITY, CA, 92115</p>	<p>1 - SUBSTANDARD LOT - MINIMUM SIZE 5,000 S.F. REQUIRED - REDUCE TO 2,500 S.F. Current setbacks requirements significantly reduces significantly limits the buildable envelope on this small lot, making it challenging to construct a modest single-family home with functional and efficient floor planning.</p> <p>2 - MINIMUM FRONT SETBACK 20' REQUIRED - REDUCE TO 11' FOR THE DWELLING UNIT INCLUDING 4' FOR THE FRONT PORCH. The reduced front setback remains compatible with surrounding development patterns and maintains the intent of the zoning code.</p> <p>3 - INTERIOR SIDE SETBACK 5' REQUIRED FOR THE DWELLING UNIT - REDUCE TO 36" ON NORTH SIDE AND 4' TO THE SOUTH SIDE  INTERIOR SIDE SETBACK 4' REQUIRED FOR ADU - REDUCE TO 36" ON NORTH SIDE. Due to the narrow width of the parcel, meeting standard side yard setbacks would make the central living space unreasonably narrow or require reduction of usable floor area below functional minimums. The proposed 4' and 36" setbacks maintain adequate separation for fire safety and access.</p> <p>4 - REAR SETBACK FOR ADU REQUIRED 4' - REDUCE TO 3' ON THE EAST SIDE  The ADU is a single-story structure under 16' in height, without windows facing the property line, minimizing privacy and visual impacts to neighboring properties. Fire-rated walls will be provided per code. Supports the city's goals to increase housing supply and affordability by enabling ADUs on constrained infill lots.</p>	<p>NEW DEVELOPMENT OF SINGLE FAMILY HOME OF 803 S.F. AND AN ADU OF 630 S.F.</p> <p><b>PROJECT INFORMATION</b></p> <p>EXISTING LOT SIZE AREA: 2,500 S.F.  PROPOSED SINGLE FAMILY HOME: 803 S.F.  PROPOSED ADU: 630 S.F.  TOTAL LIVING AREA: 1,433 S.F.</p>

SHEET INDEX	
TITLE SHEETS	TS.1 TITLE SHEET
ARCHITECTURAL	AS.1.1 SITE PLAN
ARCHITECTURAL	A1.1 PROPOSED FIRST FLOOR PLAN
	A2.1 PROPOSED ROOF PLAN
	A3.1 PROPOSED ELEVATIONS
LANDSCAPE	L1.1 PROPOSED LANDSCAPE PLAN

Copyright © 2026  
All ideas, designs, and arrangements indicated on these drawings are the property of OFFSET DESIGN INC., and are intended to be used in connection with this specific project only and shall not otherwise be used for any other purpose. There shall be no changes or deviations from these drawings without the written consent of the designer.

**DRAWN BY:**  
RR

**DATE:**  
03/09/2026

**PHASE:**  
DISCRETIONARY REVIEW

**DISCRPTION:**  
TITLE SHEET

**REVISION:**

RV.00 - INITIAL 05/08/2025  
RV.01 - PER CITY REVIEW 08/28/2025  
RV.02 - PER CITY REVIEW 03/09/2026

CITY STAMP

TS.1  
RV.02



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All ideas, designs, and arrangements incated on these drawings are the property of **OFFSET DESIGN INC.**, and are intended to be used in connection with this specific project only and shall not otherwise be used for any other purpose. There shall be no changes or deviations from these drawings without the written consent of the designer.

**DRAWN BY:**  
RR

**DATE:**  
03/09/2026

**PHASE:**  
DISCRETIONARY REVIEW


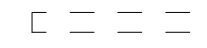


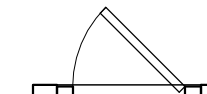

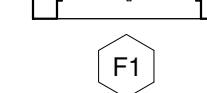
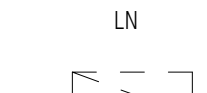
**DISCRPTION:**  
PROPOSED FIRST FLOOR PLAN

**REVISION:**

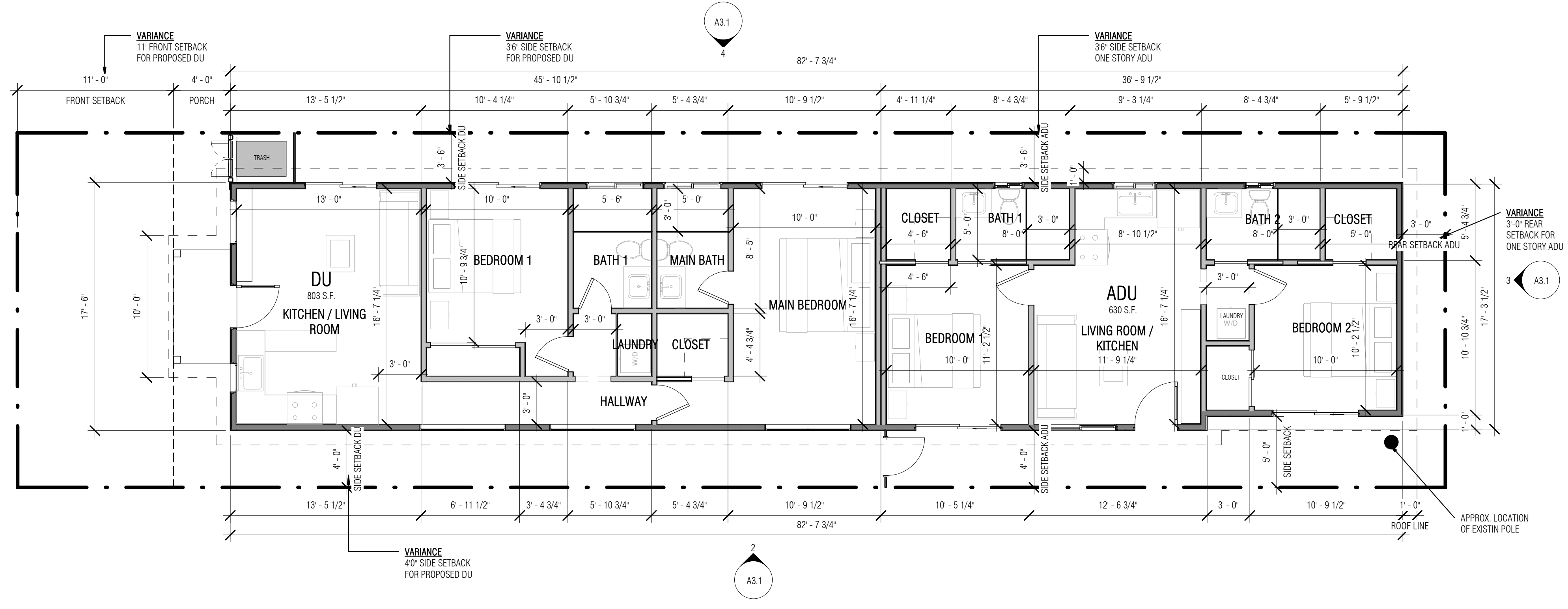
RV.00 - INITIAL 05/08/2025  
RV.01 - PER CITY REVIEW 08/28/2025  
RV.02 - PER CITY REVIEW 03/09/2026

CITY STAMP

### FLOOR PLAN LEGEND

-  EXISTING WOOD STUD WALLS  
*Note: The majority of the existing exterior walls are 2 x 4 stud*
-  EXISTING WALLS - TO BE DEMOLISHED AND REMOVED
-  NEW WALL: 2 X 4 WOOD STUD WALL @ 16" O.C. - or as called out on plans
-  ONE HOUR CONSTRUCTION  
2 X WOOD STUD @ 16" O.C. W/ 5/8" TYPE 'X' GYP. BD.
-  EXISTING / NEW DOORS AND DOOR SYMBOL. SEE SCHEDULE ON SHEET  
(001)
-  EXISTING / NEW WINDOW AND WINDOW SYMBOL. SEE SCHEDULE ON SHEET  
(F1)
-  LN LANDSCAPE AREAS
-  ATTIC ACCESS MINIMUM SIZE OF 22" X 30"

### FLOOR PLAN KEYNOTES



PROPOSED FIRST FLOOR PLAN  
3/16" = 1'-0"

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**DRAWN BY:**  
Author  
**DATE:**  
03/09/2026  
**PHASE:**  
DISCRETIONARY REVIEW  
**DISCRPTION:**  
PROPOSED ROOF PLAN

**REVISION:**  
RV.00 - INITIAL 05/08/2025  
RV.01 - PER CITY REVIEW 08/28/2025  
RV.02 - PER CITY REVIEW 03/09/2026

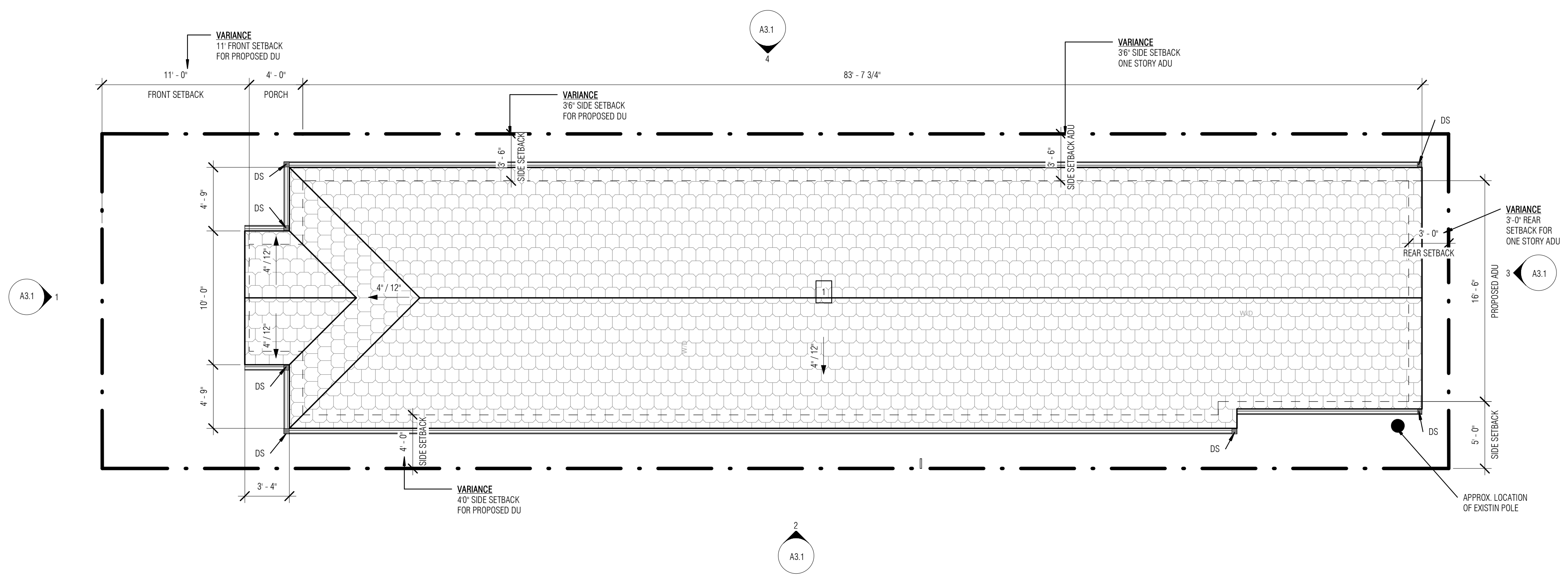
CITY STAMP

A2.1  
RV.02

### ROOF LEGEND

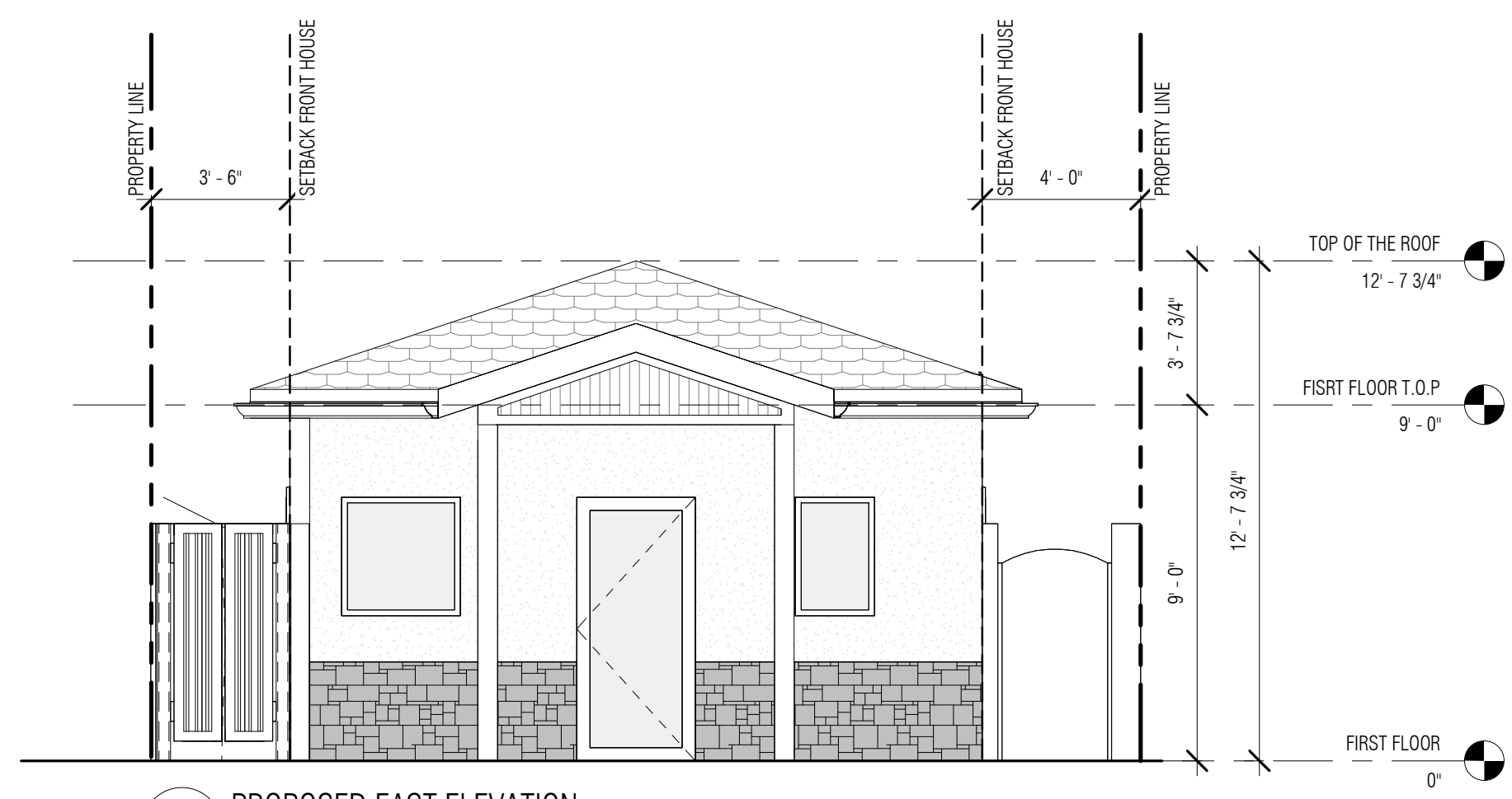
- INDICATES DIRECTION OF ROOF SLOPE. SEE PLAN FOR ROOF PITCH
- PLUMBING VENT. VERIFY IN FIELD
- 2" X 2" S.S. DOWNSPOUT TO LANDSCAPING AT GRADE. PROVIDE SPLASHBLOCK DIRECTED TOWARDS LANDSCAPIN
- 3"x3" S.S. GUTTER SLOPE = 1/8" /FT. MIN. TYP. TO DOWNSPOUT
- EAVE VENT = 0.67" OF NET FREE VENTILATION PER 1 LINEAR FOOT OF VENT. VENT TO BE COVERED WITH CORROSION-RESISTANT SCREENING MATERIAL HAVING OPENINGS OF 1/8" AND NOT MORE THAN 1/4"

### ROOF PLAN FLOOR PLAN KEYNOTES

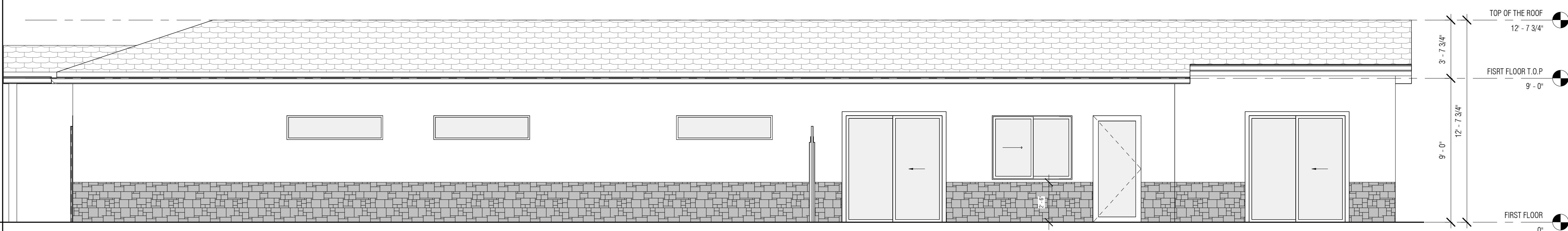


I CERTIFY THAT I HAVE READ ALL ZONING REGULATIONS AND BEST MANAGEMENT PRACTICES (BMPs) NOTES AND THAT I AM THE DESIGNER OF THE PROPOSED PROJECT:

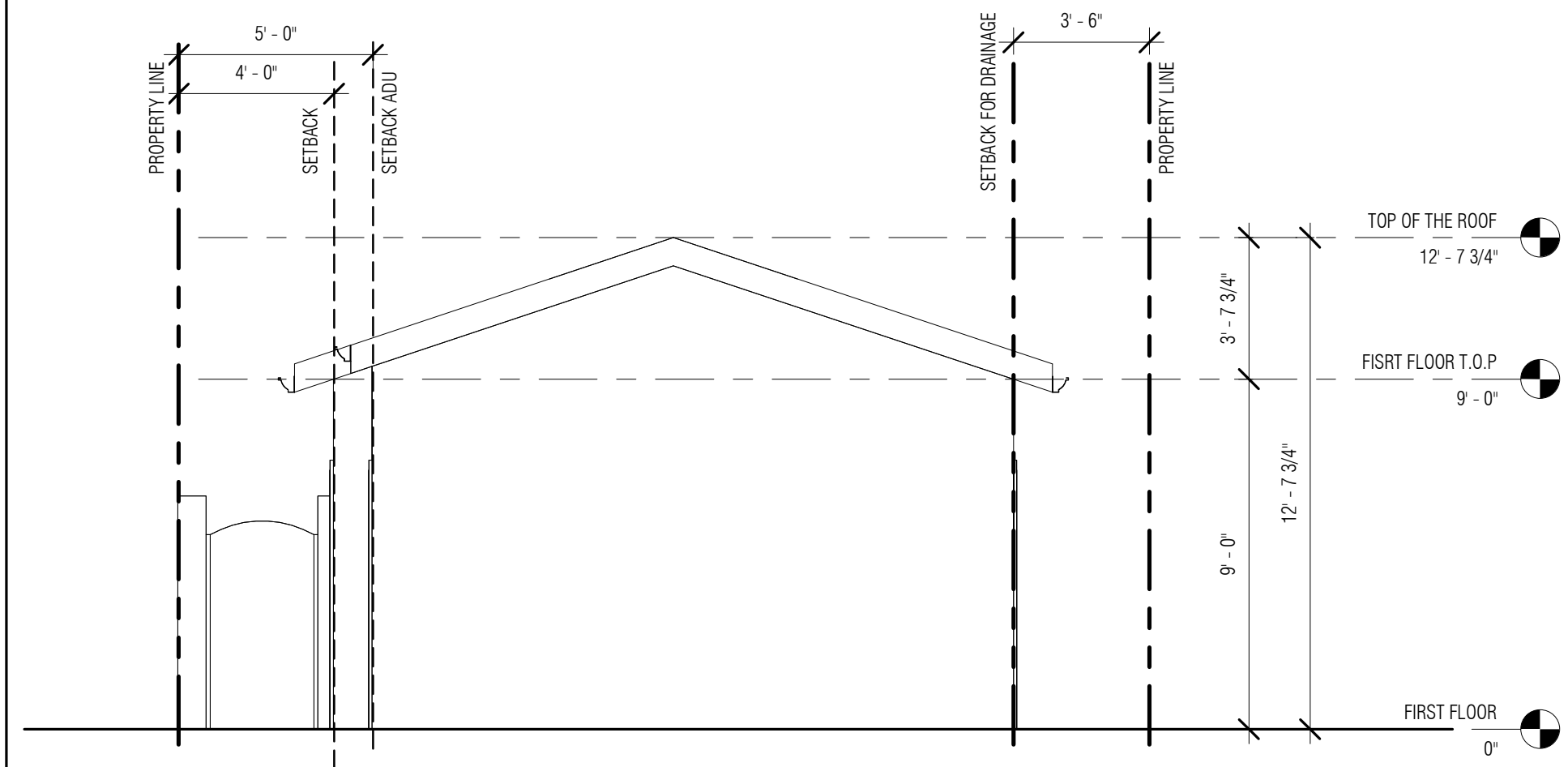
*[Signature]*  
DESIGN SIGNATURE REQUIRED \_\_\_\_\_ DATE \_\_\_\_\_



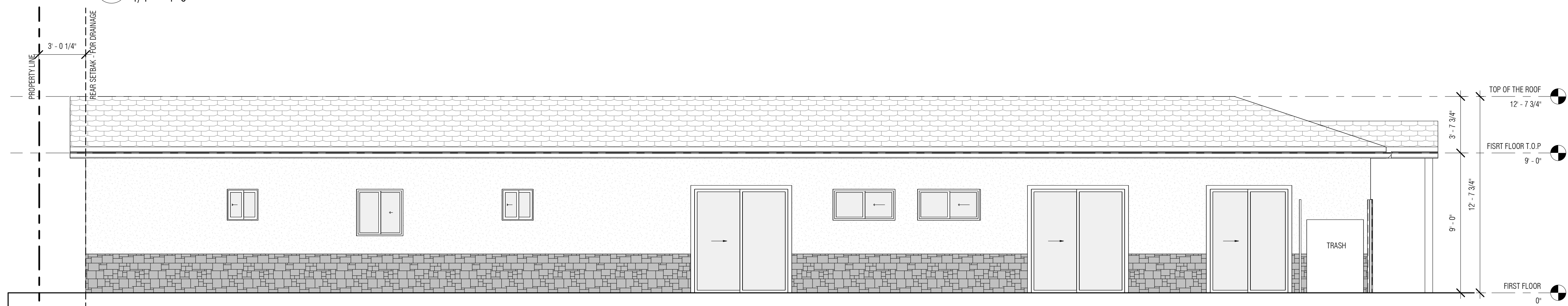
1 PROPOSED EAST ELEVATION  
1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION  
1/4" = 1'-0"



3 PROPOSED WEST ELEVATION  
1/4" = 1'-0"



4 PROPOSED NORTH ELEVATION  
1/4" = 1'-0"

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RR

DATE:  
03/09/2026

PHASE:  
DISCRETIONARY REVIEW

DISCRPTION:  
PROPOSED ELEVATIONS

REVISION:

RV.00 - INITIAL 05/08/2025

RV.01 - PER CITY REVIEW 08/28/2025

RV.02 - PER CITY REVIEW 03/09/2026

CITY STAMP

## 5TH STREET RESIDENCE

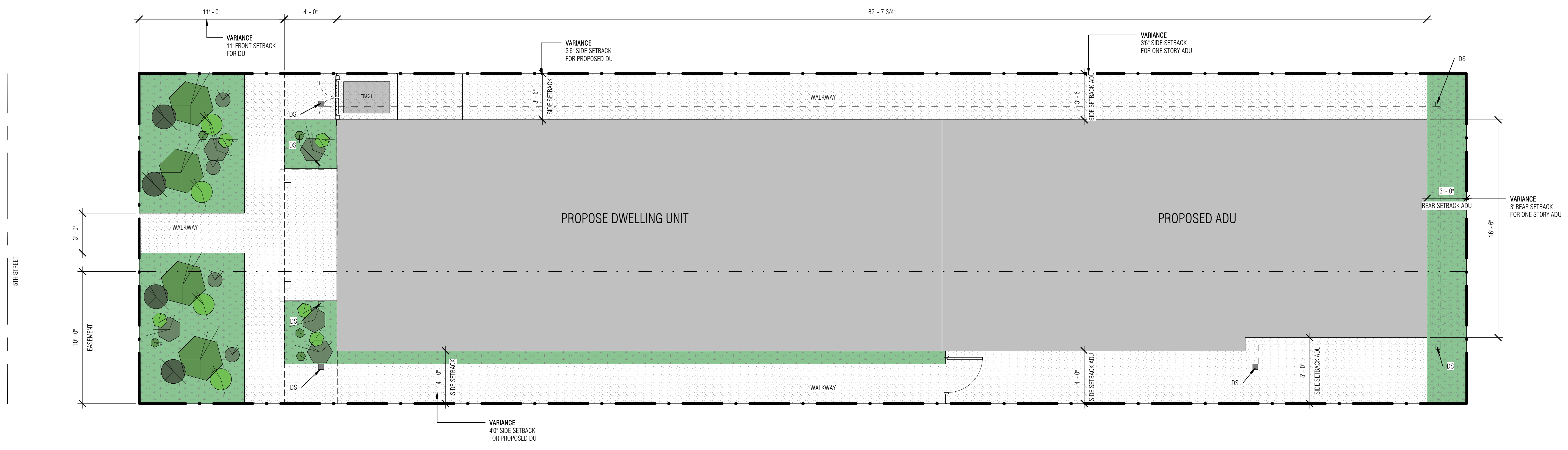
DISCRETIONARY PERMIT  
DISCRETIONARY REVIEW  
800 E 5TH STREET, NATIONAL CITY, CA 91950  
PROJECT NUMBER: 2025-112

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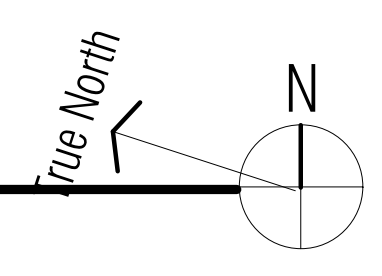
**DRAWN BY:**  
Author  
**DATE:**  
03/09/2026  
**PHASE:**  
DISCRETIONARY REVIEW  
**DISCRIPTION:**  
PROPOSED LANDSCAPE PLAN

**REVISION:**  
RV.00 - INITIAL 05/08/2025  
RV.01 - PER CITY REVIEW 08/28/2025  
RV.02 - PER CITY REVIEW 03/09/2026

CITY STAMP



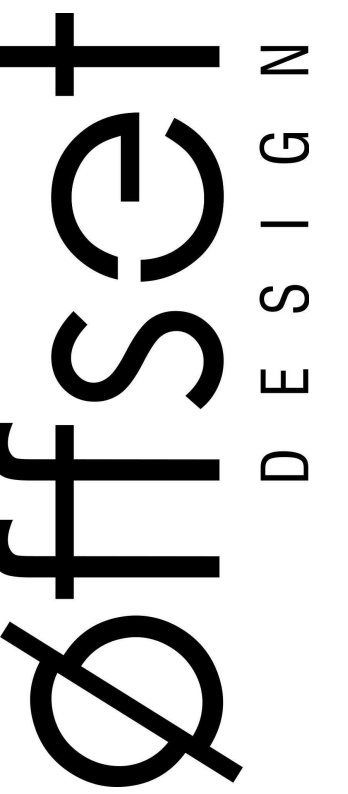
PROPOSED CONCEPTUAL LANDSCAPE  
1/4" = 1'-0"



**EXHIBIT B**  
CASE FILE NO.: 2025-21 ZV  
DATE: 3/10/2026

# 5TH STREET RESIDENCE DISCRETIONARY PERMIT

800 E 5TH STREET, NATIONAL CITY, CA 91950



3509 DEL REY STREET, UNIT  
213, SAN DIEGO CA, 92109  
858-344-7702

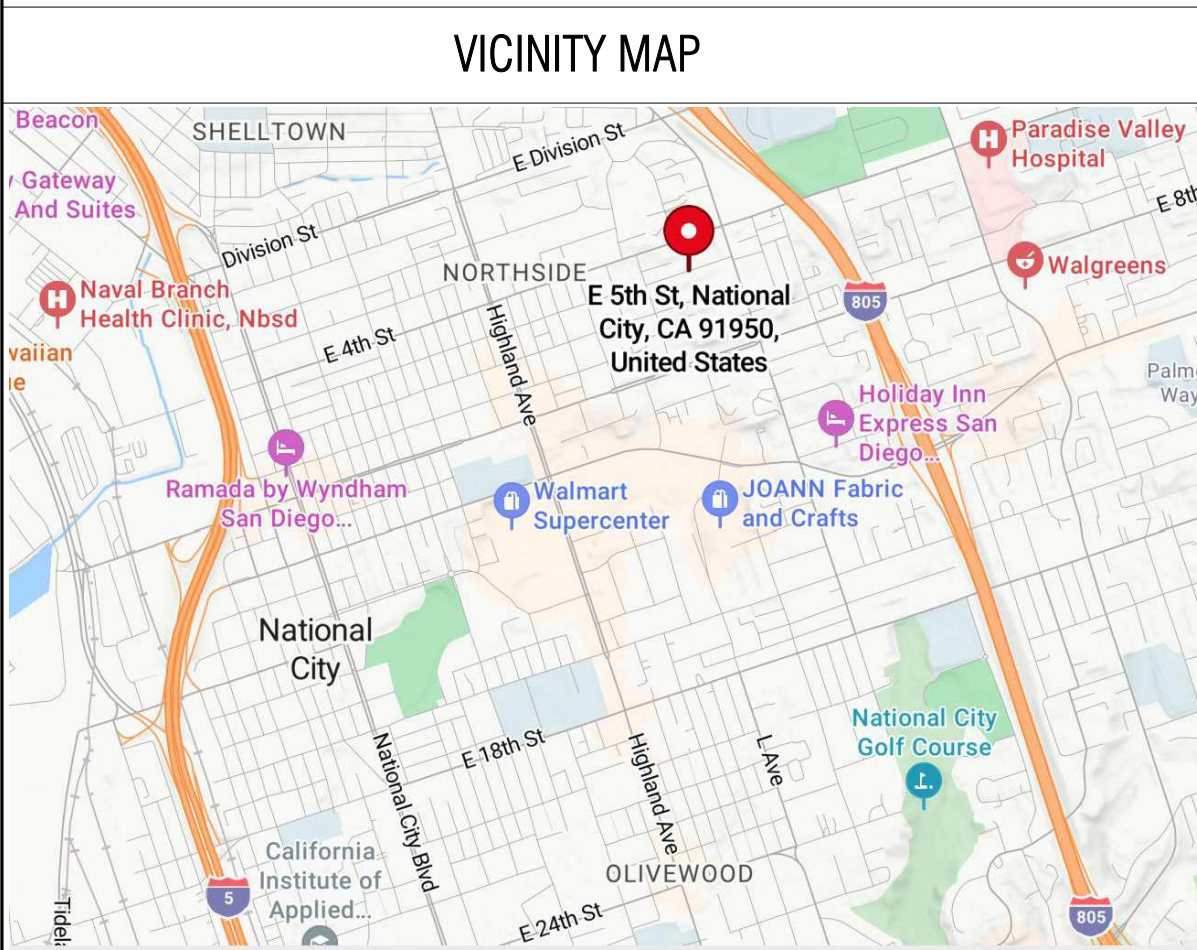
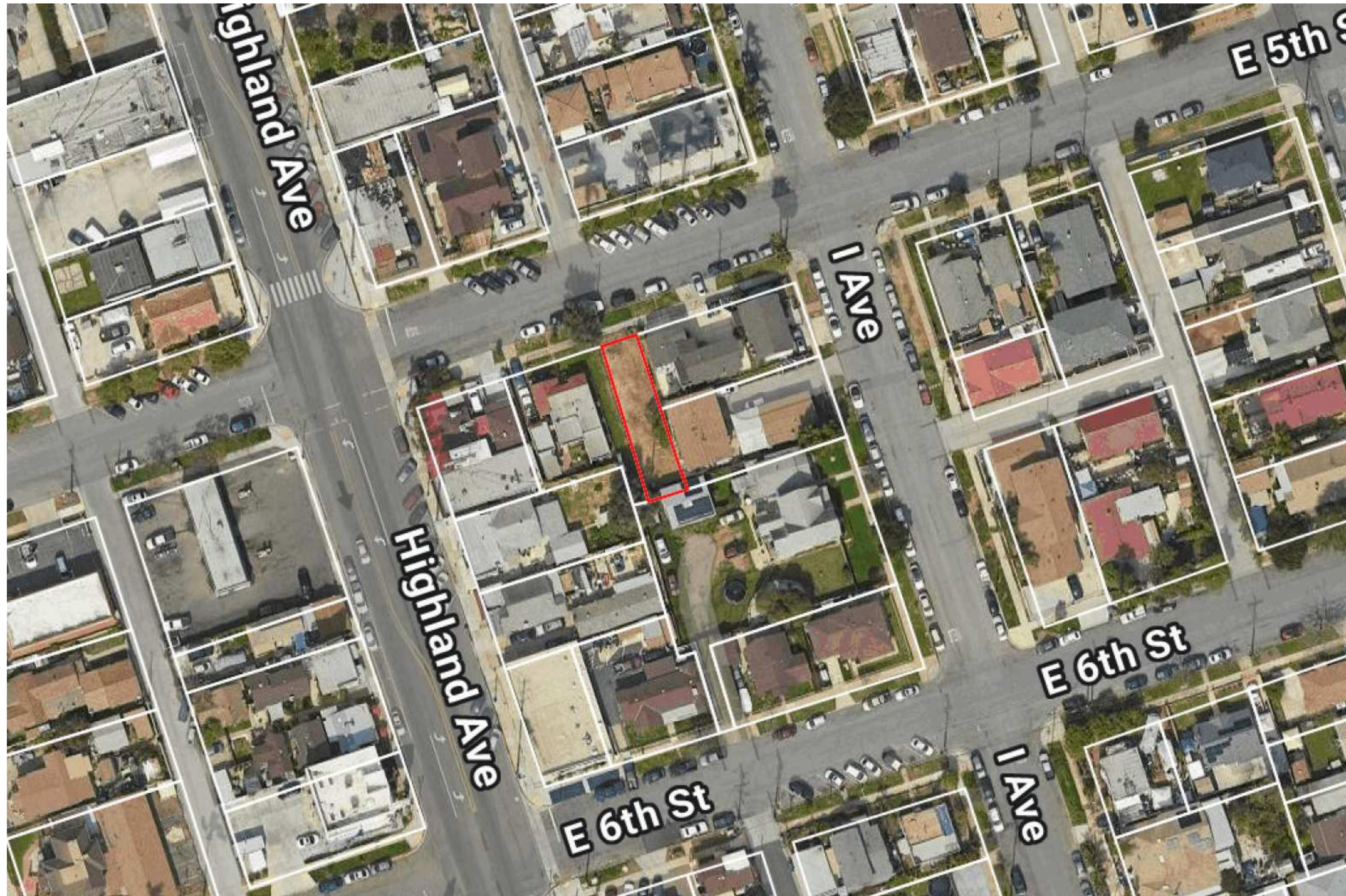
5TH STREET RESIDENCE

DISCRETIONARY PERMIT

DISCRETIONARY REVIEW

800 E 5TH STREET, NATIONAL CITY, CA 91950

PROJECT NUMBER: 2025-112



ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AND REGULATIONS:

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 MECHANICAL CODE
- 2022 PLUMBING CODE
- 2022 ELECTRICAL CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2022 CALIFORNIA ENERGY CODE

THESE PLANS AND ALL WORK SHALL COMPLY WITH THE CALIFORNIA BUILDINGS STANDARDS CODE FOUND IN THE STATE OF CALIFORNIA TITLE 24 CCR AS AMENDED AND ADOPTED BY THE CITY OF NATIONAL CITY

### PROJECT TEAM

**OWNER**  
JOSEPH GARRIE  
238 WEST D STREET, ENCINITAS CA  
92024

**DESIGNER**  
OFFSET DESIGN DRAFT  
CONTACT: FLAVIA GOMES  
3509 DEL REY STREET, UNIT 213  
SAN DIEGO, CA 92109  
PH: 858-344-7702  
EMAIL: FLAVIA@OFFSETDESIGNDRAFT.COM

### ZONING INFORMATION

ZONING: RS-2  
FRONT SETBACK: 20' - ADU 15'  
SIDE SETBACK: 5' - ADU 4'  
REAR SETBACK: 25'

### PARCEL INFORMATION

APN: 556-311-10-00  
YEAR BUILT: N/A  
LEGAL DESCRIPTION: 100 FEET OF LOT 21 W.W. PADRICKS SUBDIVISION OF THE SOUTHERLY ONE-HALF OF 20 ACRE LOT 3, QUARTER SECTION 131, RANCHO DE LA NACION, IN THE CITY OF NATIONAL CITY, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 412, FILED IN THE OFFICE OF THE RECORDER OF SAN DIEGO COUNTY, OCTOBER 15, 1887, EXCEPTING THE NORTHEASTERLY 100 FEET OF LOTS 17, 18, 19 AND 20 ABOVE DESCRIBED.

#STORIES: N/A  
OCCUPANCY TYPE: R3  
TYPE OF CONSTRUCTION: TYPE V-B - NON-SPRINKLERED  
TOTAL SITE SQ.FT. ≈ 0.06 acres | ≈ 4,475 SF  
SITE ADDRESS: 800 E 5TH STREET, NATIONAL CITY, CA, 92115

### VARIANCES REQUEST

- 1 - SUBSTANDARD LOT - MINIMUM SIZE 5,000 S.F. REQUIRED - REDUCE TO 2,500 S.F. Current setbacks requirements significantly reduces the buildable envelope on this small lot, making it challenging to construct a modest single-family home with functional and efficient floor planning.
- 2 - MINIMUM FRONT SETBACK 20' REQUIRED - REDUCE TO 16'0" FOR THE DWELLING UNIT INCLUDING 4' FOR THE FRONT PORCH. The reduced front setback remains compatible with surrounding development patterns and maintains the intent of the zoning code.
- 3 - INTERIOR SIDE SETBACK 5' REQUIRED - REDUCE TO 3'6" ON NORTH SIDE AND 4' TO THE SOUTH SIDE Due to the narrow width of the parcel, meeting standard side yard setbacks would make the central living space unreasonably narrow or require reduction of usable floor area below functional minimums. The proposed 4' and 3'6" setbacks maintain adequate separation for fire safety and access.
- 4 - REAR SETBACK FOR ADU REQUIRED 25' - REDUCE TO 20' ON THE EAST SIDE The reduced rear setback allows for a more efficient building layout while maintaining adequate open space at the rear of the property and remains compatible with surrounding development patterns and maintains the intent of the zoning code. Supports the city's goals to increase housing supply and affordability by enabling ADUs on constrained infill lots.

### SCOPE OF WORK

PROPOSED DEVELOPMENT OF SINGLE FAMILY HOME OF 1,047 S.F. ON 1ST FLOOR AND AN ADU OF 870 S.F. ON THE 2ND FLOOR.

### PROJECT INFORMATION

EXISTING LOT SIZE AREA:	2,500 S.F.
PROPOSED SINGLE FAMILY HOME:	1,047 S.F.
PROPOSED ADU:	870 S.F.
TOTAL LIVING AREA:	1,917 S.F.
PROPOSED BALCONY 1:	74 S.F.
PROPOSED BALCONY 2:	111 S.F.
TOTAL PROPOSED AREA:	2,102 S.F.

### SHEET INDEX

TITLE SHEETS  
TS.1 TITLE SHEET

ARCHITECTURAL  
AS.1.1 SITE PLAN

ARCHITECTURAL  
A1.1 PROPOSED FIRST FLOOR PLAN  
A1.2 PROPOSED SECOND FLOOR PLAN  
A2.1 PROPOSED ROOF PLAN  
A3.1 PROPOSED ELEVATIONS  
A3.2 PROPOSED ELEVATIONS

LANDSCAPE  
L1.1 PROPOSED LANDSCAPE PLAN

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DRAWN BY:  
RR

DATE:  
03/09/2026

PHASE:  
DISCRETIONARY REVIEW

DISCRPTION:  
TITLE SHEET

REVISION:

- RV.00 - INITIAL 06/04/2025
- RV.01 - PER CITY REVIEW 08/28/2025
- RV.02 - PER CITY REVIEW 03/09/2026

CITY STAMP

TS.1  
RV.02

## 5TH STREET RESIDENCE

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DISCRETIONARY REVIEW

800 E 5TH STREET, NATIONAL CITY, CA 91960

PROJECT NUMBER: 2025-112

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RR

DATE:  
03/09/2026

PHASE:  
DISCRETIONARY REVIEW

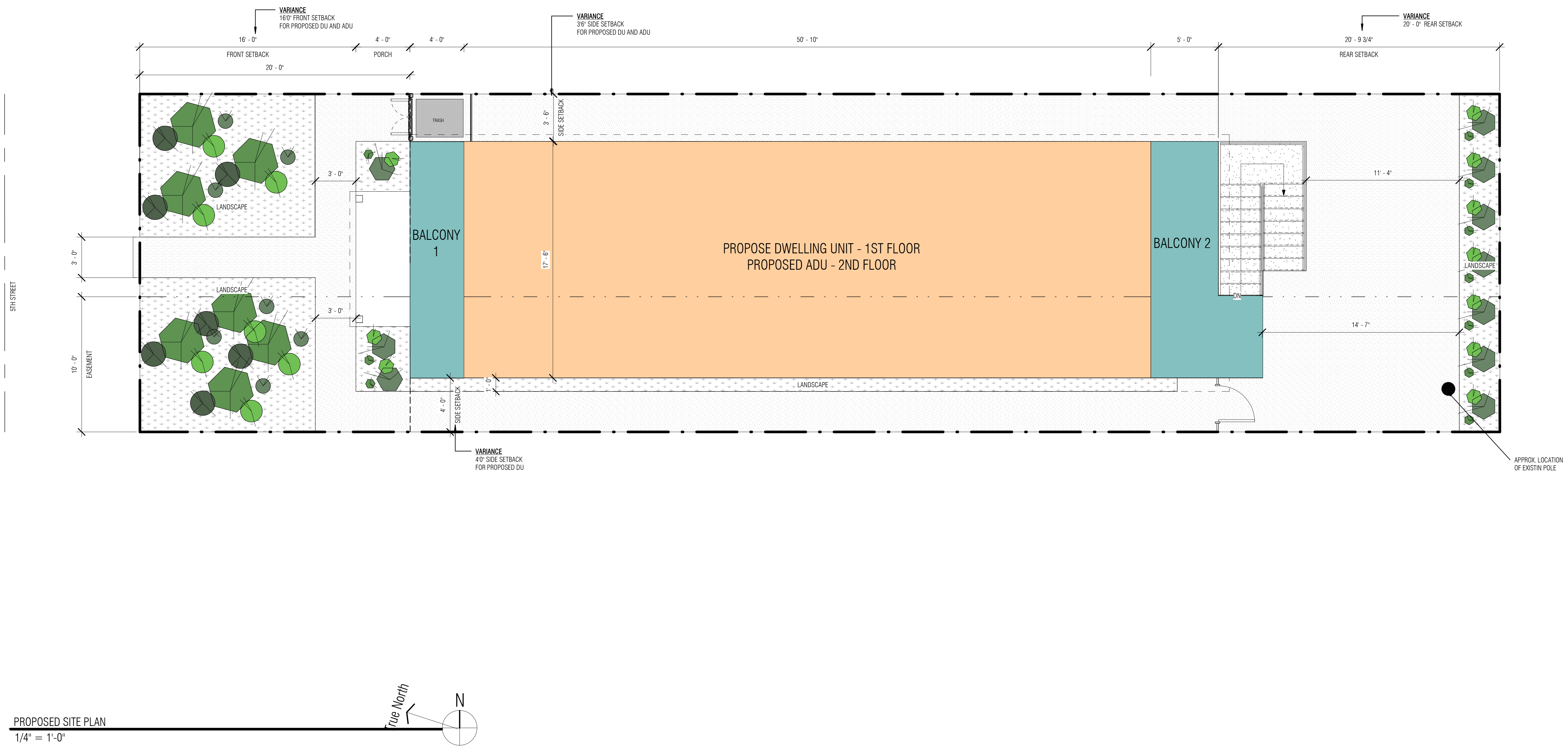
DISCRPTION:  
SITE PLAN

REVISION:

- RV.00 - INITIAL 06/04/2025
- RV.01 - PER CITY REVIEW 08/28/2025
- RV.02 - PER CITY REVIEW 03/09/2026

CITY STAMP

AS1.1  
RV.02



SITE PLAN LEGEND	
	AREA OF PROPOSED SINGLE FAMILY HOME
	AREA OF PROPOSED ADU
	AREA OF PROPOSED CONCRETE HARDSCAPE
	AREA OF PROPOSED LANDSCAPE
	DOWN SPOT

PROPOSED SITE PLAN  
1/4" = 1'-0"

## 5TH STREET RESIDENCE

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800 E 5TH STREET, NATIONAL CITY, CA 91960  
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**DRAWN BY:**  
Author

**DATE:**  
03/09/2026

**PHASE:**  
DISCRETIONARY REVIEW

**DISCRPTION:**  
PROPOSED FIRST FLOOR PLAN

**REVISION:**


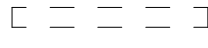

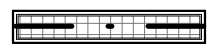

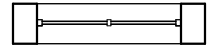

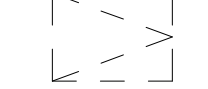
RV.00 - INITIAL 06/04/2025

RV.01 - PER CITY REVIEW 08/28/2025

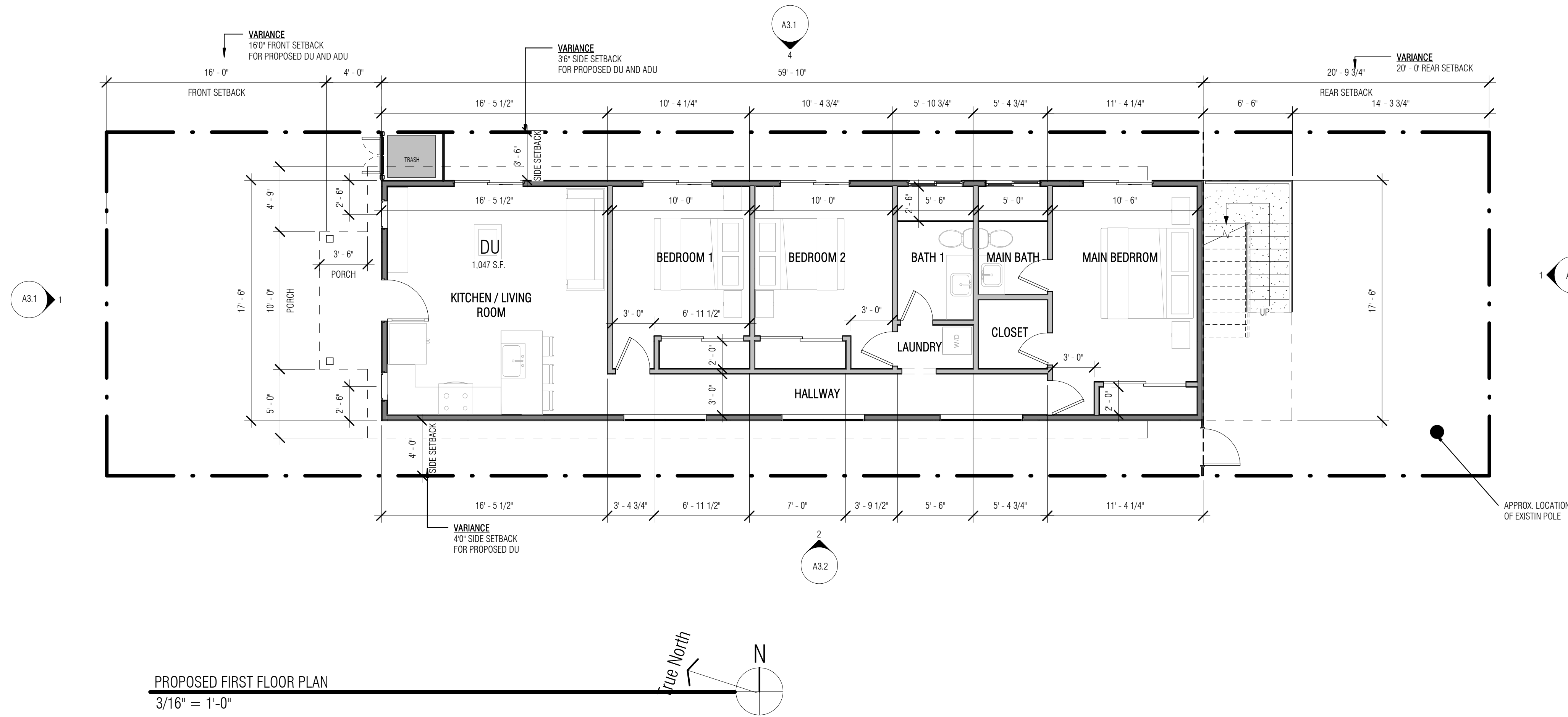
RV.02 - PER CITY REVIEW 03/09/2026

CITY STAMP

### FLOOR PLAN LEGEND

-  EXISTING WOOD STUD WALLS  
*Note: The majority of the existing exterior walls are 2 x 4 stud*
-  EXISTING WALLS - TO BE DEMOLISHED AND REMOVED
-  NEW WALL: 2 X 4 WOOD STUD WALL @ 16" O.C. - or as called out on plans
-  ONE HOUR CONSTRUCTION  
2 X WOOD STUD @ 16" O.C. W/ 5/8" TYPE 'X' GYP. BD.
-  EXISTING / NEW DOORS AND DOOR SYMBOL. SEE SCHEDULE ON SHEET  
**(001)**
-  EXISTING / NEW WINDOW AND WINDOW SYMBOL. SEE SCHEDULE ON SHEET  
**(F1)**
-  LN LANDSCAPE AREAS
-  ATTIC ACCESS MINIMUM SIZE OF 22" X 30"

### FLOOR PLAN KEYNOTES



PROPOSED FIRST FLOOR PLAN  
3/16" = 1'-0"

## 5TH STREET RESIDENCE

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DISCRETIONARY REVIEW

800 E 5TH STREET, NATIONAL CITY, CA 91960  
PROJECT NUMBER: 2025-112

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Author

**DATE:**  
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DISCRETIONARY REVIEW


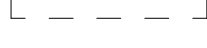



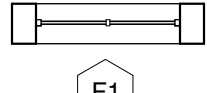

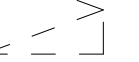
**DISCRPTION:**  
PROPOSED SECOND FLOOR PLAN

**REVISION:**

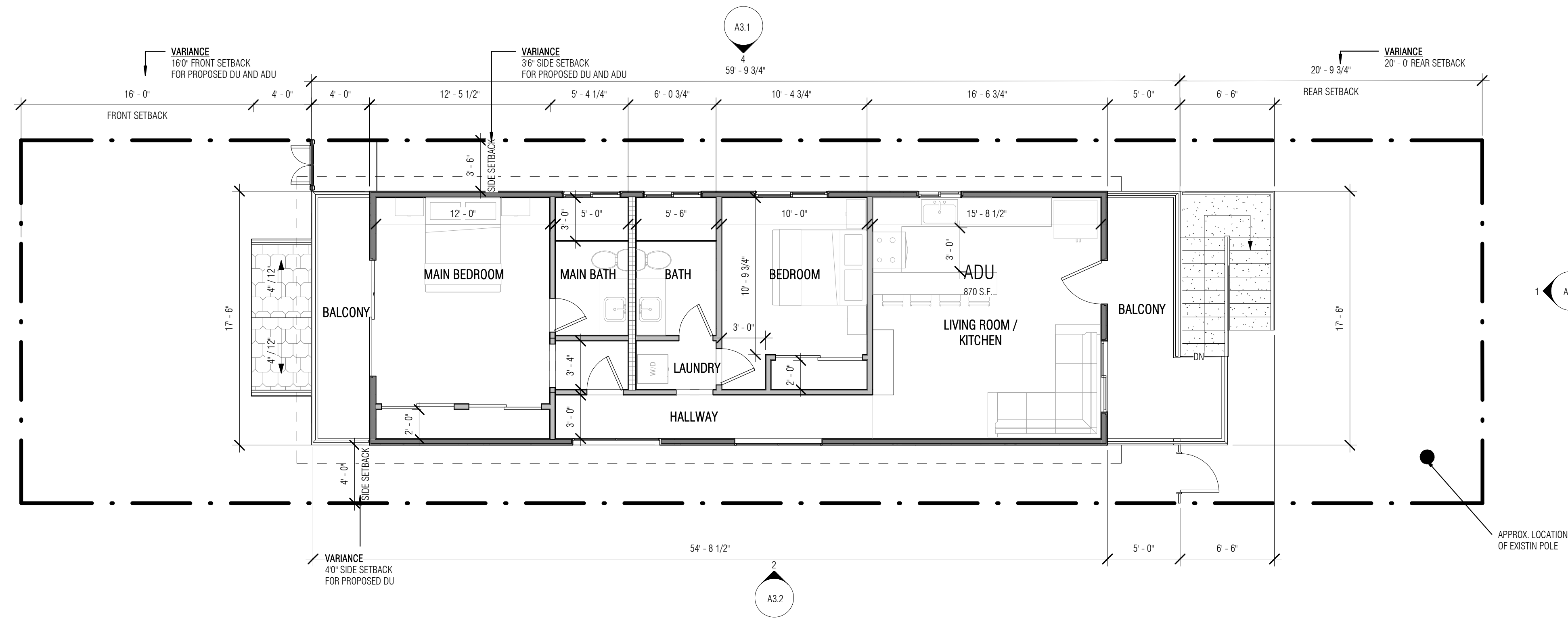
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RV.01 - PER CITY REVIEW 08/28/2025  
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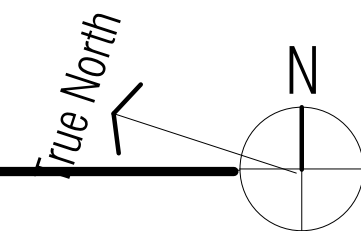
### FLOOR PLAN LEGEND

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-  EXISTING / NEW WINDOW AND WINDOW SYMBOL. SEE SCHEDULE ON SHEET
-  LN  
LANDSCAPE AREAS
-  ATTIC ACCESS MINIMUM SIZE OF 22" X 30"

### FLOOR PLAN KEYNOTES



PROPOSED SECOND FLOOR PLAN  
3/16" = 1'-0"



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PROJECT NUMBER: 2025-112

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Author

**DATE:**  
03/09/2026

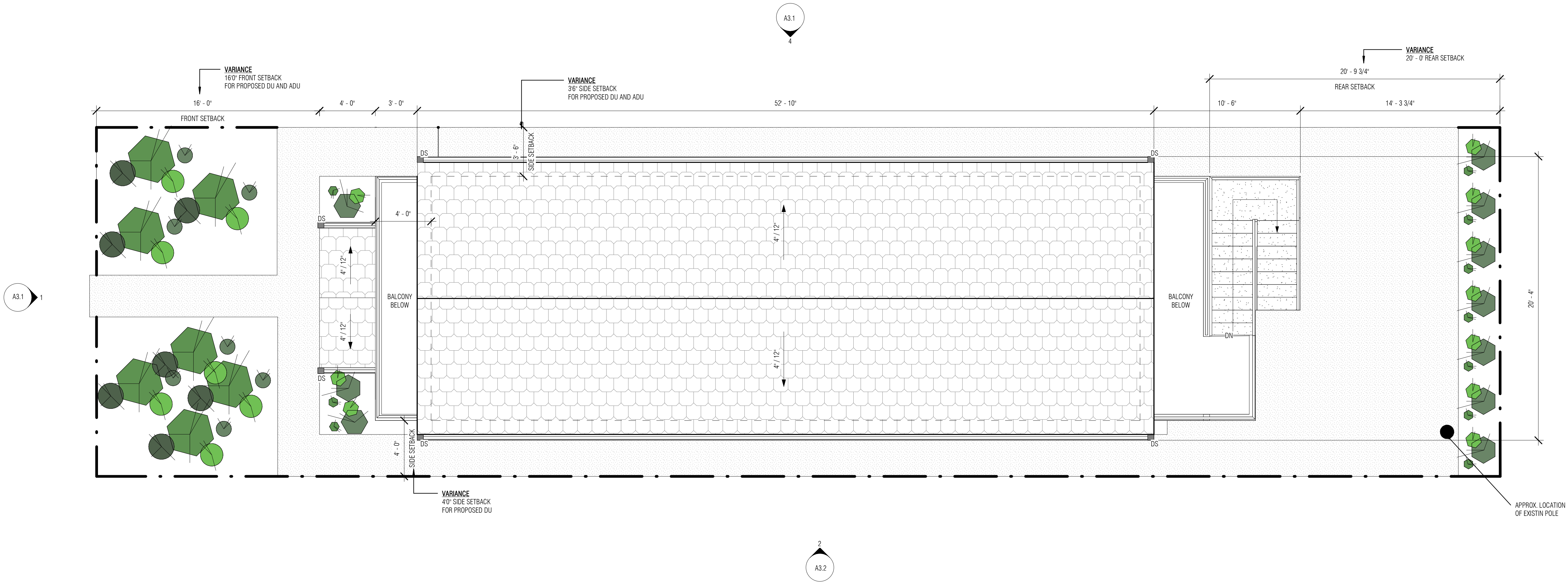
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DISCRETIONARY REVIEW

**DISCRPTION:**  
PROPOSED ROOF PLAN

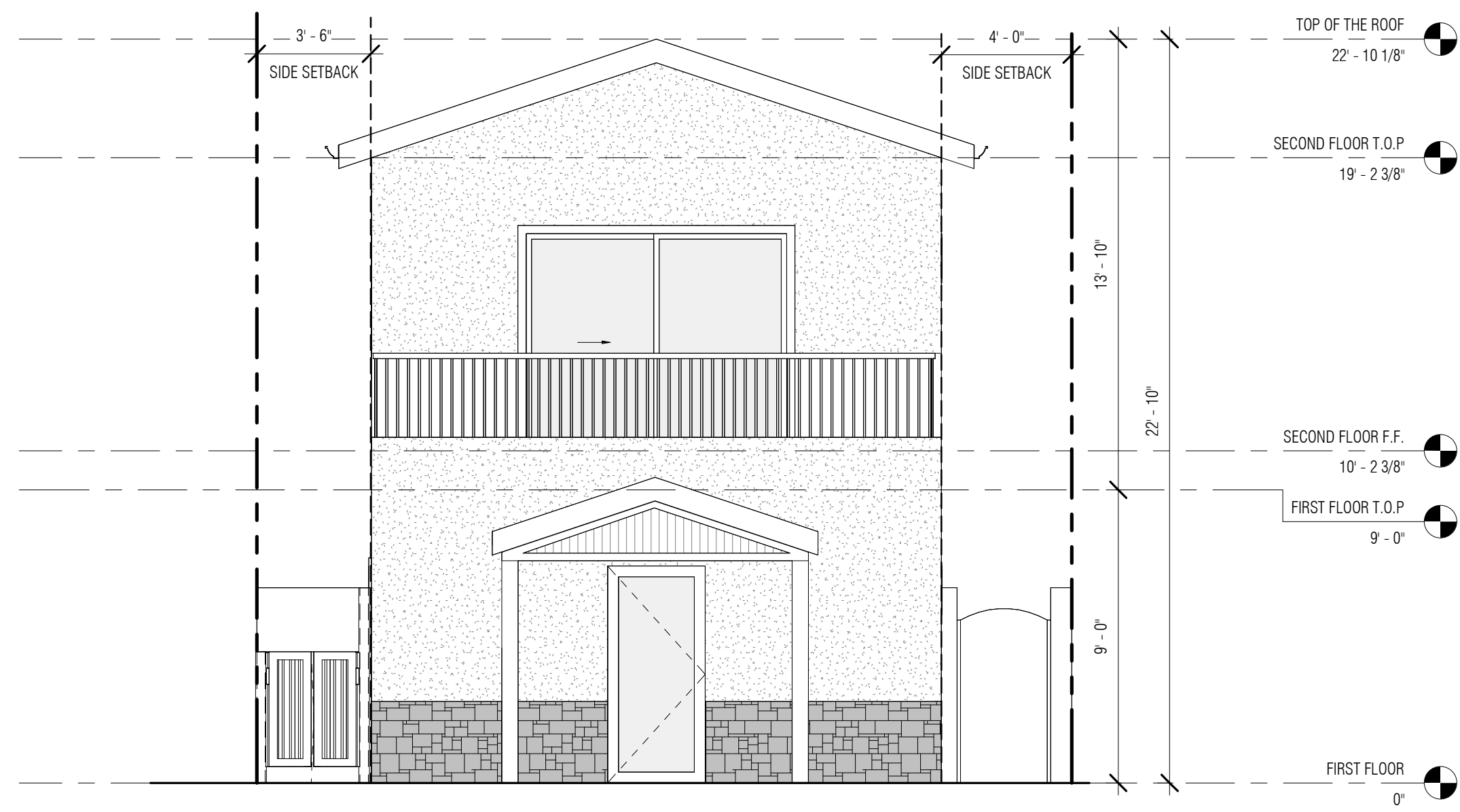
**REVISION:**

- RV.00 - INITIAL 06/04/2025
- RV.01 - PER CITY REVIEW 08/28/2025
- RV.02 - PER CITY REVIEW 03/09/2026

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PROPOSED ROOF PLAN  
1/4" = 1'-0"



1 PROPOSED EAST ELEVATION  
1/4" = 1'-0"



4 PROPOSED NORTH ELEVATION  
1/4" = 1'-0"

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RR

DATE:  
03/09/2026

PHASE:  
DISCRETIONARY REVIEW

DISCRPTION:  
PROPOSED ELEVATIONS

REVISION:

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RV.01 - PER CITY REVIEW 08/28/2025

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## 5TH STREET RESIDENCE

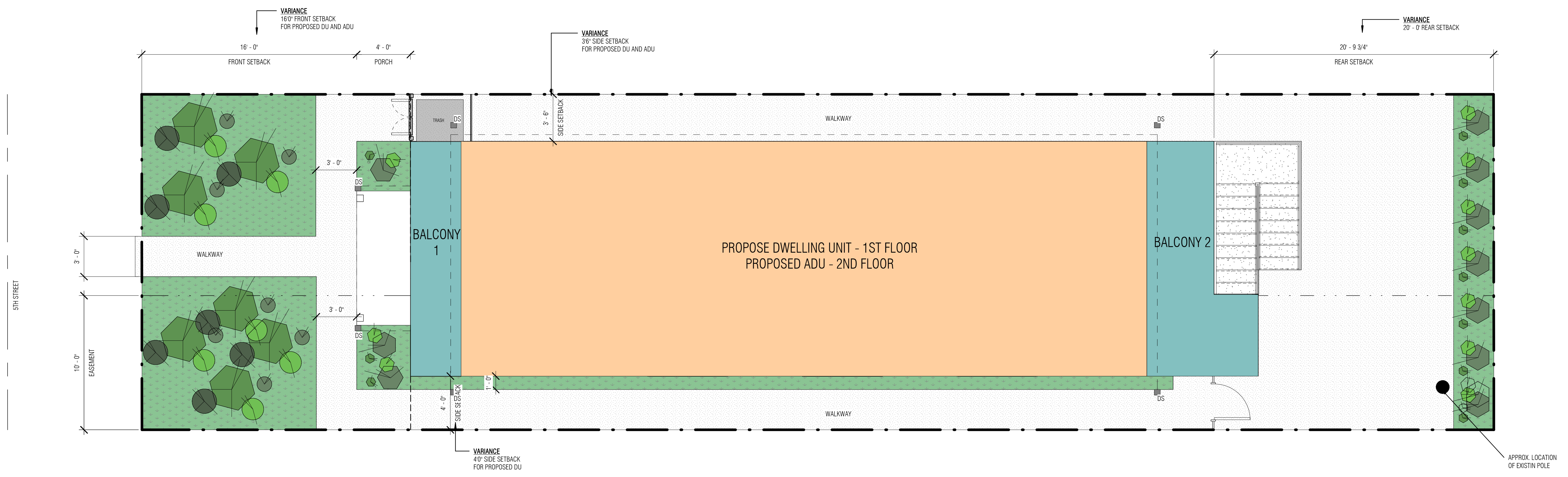
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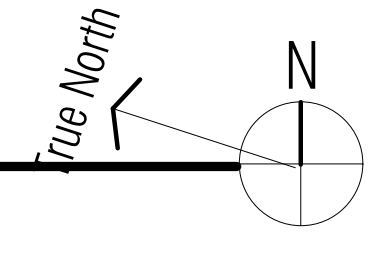
**DRAWN BY:**  
RR  
**DATE:**  
03/09/2026  
**PHASE:**  
DISCRETIONARY REVIEW  
**DISCRIPTION:**  
PROPOSED LANDSCAPE PLAN

**REVISION:**  
RV.00 - INITIAL 06/04/2025  
RV.01 - PER CITY REVIEW 08/28/2025  
RV.02 - PER CITY REVIEW 03/09/2026

CITY STAMP



PROPOSED CONCEPTUAL LANDSCAPE  
1/4" = 1'-0"





### NOTICE OF CONTINUED PUBLIC HEARING

DETERMINATION THAT THE PROJECT IS CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) UNDER CLASS 3 OF THE CEQA GUIDELINES SECTION 15303 (NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES) AND ZONE VARIANCE TO DEVIATE FROM MINIMUM REQUIREMENTS FOR LOT AREA, STREET FRONTAGE, AND SETBACKS AT A VACANT PROPERTY LOCATED ON EAST 5TH STREET BETWEEN HIGHLAND AVENUE AND I AVENUE.

CASE FILE NO.: 2025-21 ZV

APN: 556-311-10

NOTICE IS HEREBY GIVEN that the National City Planning Commission will hold a public hearing after the hour of 6:00 p.m. **Monday, March 16, 2026**, in the City Council Chambers, located at the Civic Center, 1243 National City Boulevard, National City, California, on the following item:

The applicant (Flavia Gomes) proposes to construct an 803 square-foot single-family residence and 630 square-foot attached accessory dwelling unit (ADU) on an existing 2,500 square-foot vacant lot located on East 5th Street between Highland Avenue and I Avenue. Due to the size and shape of the lot, a variance is being requested to deviate from the minimum lot area, street frontage, and setbacks for the Small Lot Residential (RS-2) zone. Planning Commission will also consider the staff determination that the project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Class 3, Section 15303 (New Construction or Conversion of Small Structures).

Information is available for review at the City's Planning Division, Civic Center. Members of the public are invited to comment orally at the hearing or in writing. Written comments should be received by the Planning Division on or before 2:00 p.m., **March 16, 2026** by submitting it to [PlcPubComment@nationalcityca.gov](mailto:PlcPubComment@nationalcityca.gov). Planning staff can be contacted at 619-336-4310 or [planning@nationalcityca.gov](mailto:planning@nationalcityca.gov).

Under California Government Code section 65009, if you challenge the nature of the proposed action in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

**Erin Reim**

---

**From:** William McColl [REDACTED] PERSONAL INFORMATION  
**Sent:** Monday, November 10, 2025 9:32 PM  
**To:** Planning  
**Subject:** Fw: Case#2025-21ZV

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

[Yahoo Mail: Search, Organize, Conquer](#)

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Re APN 556-311-10

Dear City of National City:

I oppose the proposed project. Parking is difficult on that section of east 5th. It should not receive a variance from the minimal set back requirement. Too much square footage for the lot. Thanks for the chance to voice my opinion.  
Bill McColl

[Yahoo Mail: Search, Organize, Conquer](#)