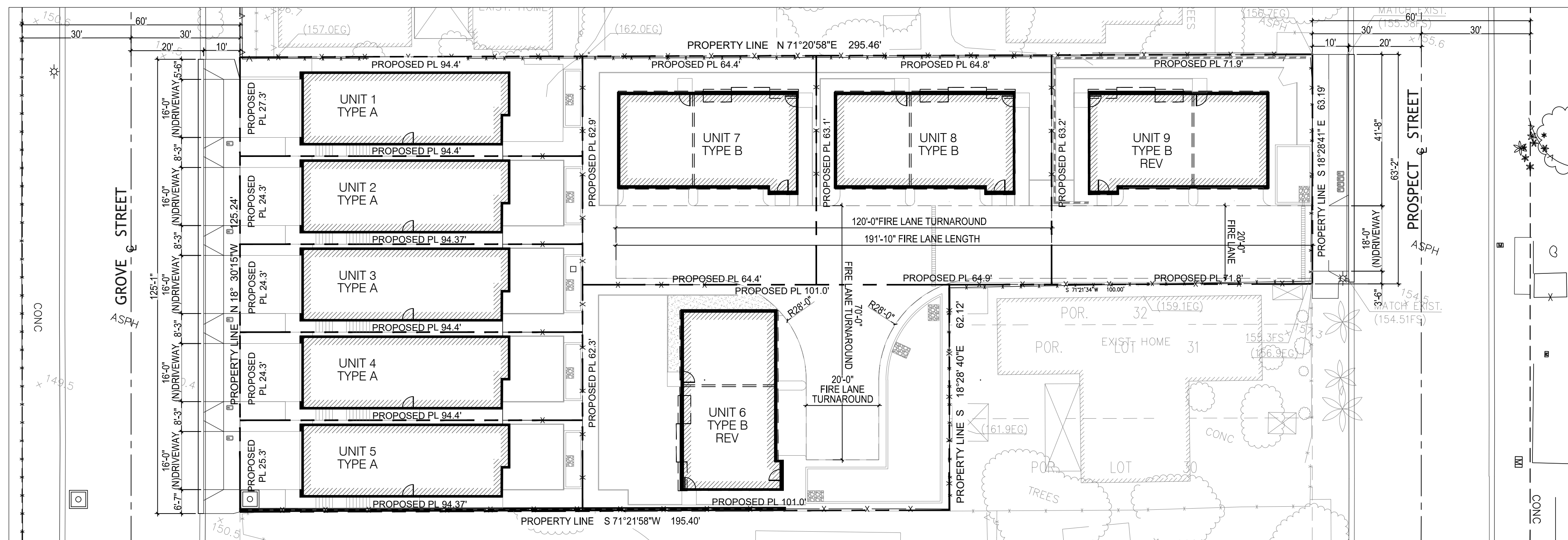
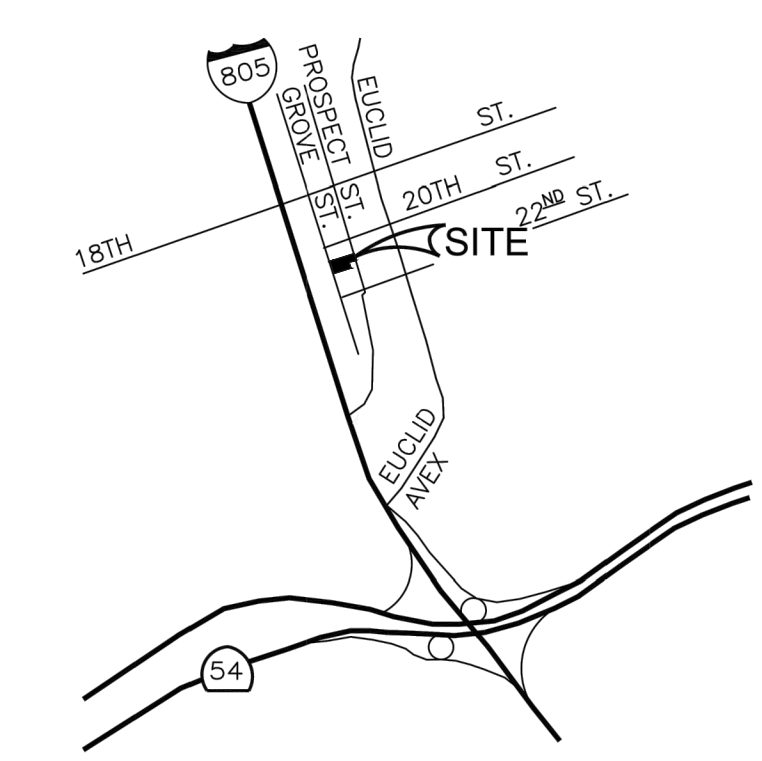


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VICINITY MAP

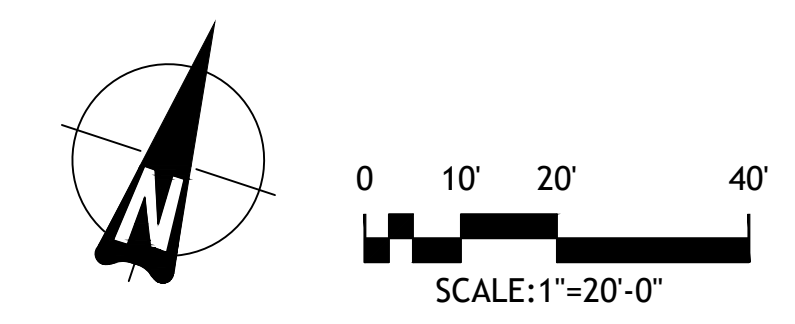


SHEET INDEX

CS	COVER SHEET
SP	PLOT PLAN
A01	UNIT TYPE A DESIGN
A02	UNIT TYPE B DESIGN
A03	ROOF PLANS
A04	UNIT TYPE A ELEVATIONS
A05	UNIT TYPE B ELEVATIONS
A06	SITE BUILDING ELEVATIONS
A07	RENDERINGS
TM1	TENTATIVE MAP
TM2	TENTATIVE MAP
PG1	CONCEPTUAL GRADING AND DRAINAGE PLAN
L1.0	LANDSCAPE CONCEPT PLAN

GROVE DEVELOPMENT

2121 GROVE ST. NATIONAL CITY, CA 91950



PROJECT DATA

PROJECT OWNER :	ARNOLD SCHMIDT 3175 CAUBY STREET, # 90 SAN DIEGO, CA 92110 619 224 0386
PROJECT ADDRESS:	2121 GROVE ST. NATIONAL CITY, CA 91950
APN:	561-380-24-00
LEGAL DESCRIPTION:	BLK 1*LOTS 15 THRU 19*(EX DOC71-285422)LOTS 30 THRU 34&ALL OF
SITE AREA:	30,797 SQUARE FEET (0.707 ACRES)
ZONE:	RS-2 (SMALL LOT RESIDENTIAL)
STANDARD MAX. HEIGHT:	35 FEET MAX. (2) STORIES
STANDARD BLDG SETBACKS:	FRONT: 20 FEET SIDE-INTERIOR: 5 FEET SIDE-EXTERIOR: 10 FEET REAR: 25 FEET
STANDARD MAX. LOT COVERAGE:	75%
STANDARD MIN. LOT AREA:	5,000 SF
STANDARD MIN. STREET FRONTAGE:	50 FEET
STANDARD MAX. DENSITY:	(1) DU PER LOT
EXISTING OCCUPANCY:	R3
PROPOSED OCCUPANCY:	R3
PROPOSED DENSITY:	9 DWELLING UNITS 1 DWELLING UNIT PER LOT DENSITY : 12.7 DU/AC
TYPE OF CONSTRUCTION:	VA - SPRINKLED
PROPOSED BUILDING AREA:	LIVING: 21,469 SF GARAGE: 7,370 SF

PROJECT DESCRIPTION

A NEW MULTI-UNIT RESIDENTIAL DEVELOPMENT WITH (5) TOWNHOUSES AND (4) 3-STORY RESIDENCES. (9) TOTAL DWELLING UNITS, EACH DWELLING INCLUDES 2-CAR PRIVATE GARAGE AND RELATED SITE WORK.

PROJECT TEAM

DESIGNER:	ENE-TE STUDIO ATTN: DANIEL TAMES 925 B STREET SUITE 300 SAN DIEGO, CA 92101 BRUNOV@PACDESIGNCONCEPTS.COM (619) 760-4422
CIVIL ENGINEER:	AP CONSULTING ATTN : ALEX PARRA 2371 FENTON STREET, OFFICE B CHULA VISTA, CA 91914 (619) 227-8941
LANDSCAPE ARCHITECT:	SOTELO LANDSCAPE ARCHITECTS ANGELINA SOTELO ASLA Principal, RLA, LEED AP 2643 FOURTH AVENUE SAN DIEGO, CA 92103 ANGELINA@ASOTELO.COM (619) 544-1977

MODIFICATION / WAIVERS, INCENTIVES / CONCESSIONS PER GOV. CODE 65915				
ITEM	DEVELOPMENT STANDARD	NATIONAL CITY MUNICIPAL CODE	DEVIATION	JUSTIFICATION
1	INCREASE OF RESIDENTIAL DENSITY	NCMC TITLE 18-ZONING RS-2 ZONE ALLOWS 9 DU PER ACRE SITE: .70 AC = 6.36	DENSITY BONUS OF 20% LOW INCOME DWELLING UNITS FOR A TOTAL UNITS 9 (ROUNDED UP)	CALIFORNIA GOVERNMENT CODE 65915
2	BUILDING HEIGHT	NCMC TITLE 18-ZONING RS-2 ZONE MAXIMUM BUILDING HEIGHT 35' / 2 STORIES	PROPOSED BUILDING HEIGHT 35' WITH 3 STORIES	INCENTIVE OR CONCESSION PER GOV CODE 65915
3	MINIMUM LOT SIZE	NCMC TITLE 18-ZONING RS-2 ZONE : 5000 SF	PROPOSED MINIMUM LOT SIZE: 2,288 SF	MODIFICATION OR WAIVER PER GOV CODE 65915
4	MINIMUM LOT WIDTH	NCMC TITLE 18-ZONING RS-2 ZONE: 50 FEET	PROPOSED MINIMUM LOT WIDTH: 24.3 FEET	MODIFICATION OR WAIVER PER GOV CODE 65915
5	MINIMUM STREET FRONTAGE	NCMC TITLE 18-ZONING RS-2 ZONE 50 FEET	PROPOSED MINIMUM STREET FRONTAGE: 24.3 FEET	MODIFICATION OR WAIVER PER GOV CODE 65915
6	MINIMUM SIDE YARD SETBACK	NCMC TITLE 18-ZONING RS-2 ZONE 5 FEET	PROPOSED MINIMUM SIDE YARD SETBACK 1' INTERIOR 4' EXTERIOR	MODIFICATION OR WAIVER PER GOV CODE 65915
7	MINIMUM REAR YARD SETBACK	NCMC TITLE 18-ZONING RS-2 ZONE 25 FEET	PROPOSED MINIMUM REAR YARD SETBACK 5.58 FEET	MODIFICATION OR WAIVER PER GOV CODE 65915
8	MINIMUM FRONT YARD SETBACK	NCMC TITLE 18-ZONING RS-2 ZONE 20 FEET	PROPOSED MINIMUM FRONT YARD SETBACK: 6.83 FEET	MODIFICATION OR WAIVER PER GOV CODE 65915
9	MAXIMUM DRIVEWAY WIDTH	NCMC TITLE 18-ZONING RS-2 ZONE: 40% OF STREET FRONTAGE	PROPOSED MAXIMUM DRIVEWAY WIDTH: 64 % OF FRONTAGE	MODIFICATION OR WAIVER PER GOV CODE 65915
10	MINIMUM DRIVEWAY SEPERATION	NCMC TITLE 18-ZONING RS-2 ZONE: 20 FEET	PROPOSED MINIMUM DRIVEWAY SEPERATION: 8.25 FEET	MODIFICATION OR WAIVER PER GOV CODE 65915

UNIT 1: 2,182 SF LIVING GFA 562 SF GARAGE GFA	UNIT 2: 2,182 SF LIVING GFA 562 SF GARAGE GFA	UNIT 3: 2,182 SF LIVING GFA 562 SF GARAGE GFA	UNIT 4: 2,182 SF LIVING GFA 562 SF GARAGE GFA	UNIT 5: 2,182 SF LIVING GFA 562 SF GARAGE GFA	UNIT 6: 2,641 LIVING SF GFA 1,140 SF GARAGE GFA	UNIT 7: 2,641 LIVING SF GFA 1,140 SF GARAGE GFA	UNIT 8: 2,641 LIVING SF GFA 1,140 SF GARAGE GFA	UNIT 9: 2,641 LIVING SF GFA 1,140 SF GARAGE GFA
--	--	--	--	--	--	--	--	--

EXHIBIT A, Case File No. 2018-33 S, SPR, dated 4/18/2023

ene-te studio
Agustin Navarro/Daniel Tames
Directors/Designers
925 B STREET SUITE 300
SAN DIEGO, CA 92101
Tel: 619-760-4422
619-888-7502
Email: enetstudio@gmail.com

PROJECT:
GROVE DEVELOPMENT

ADDRESS:
2121 GROVE ST. NATIONAL CITY, CA 91950

DESIGNER:
ENE-TE STUDIO

PHASE:

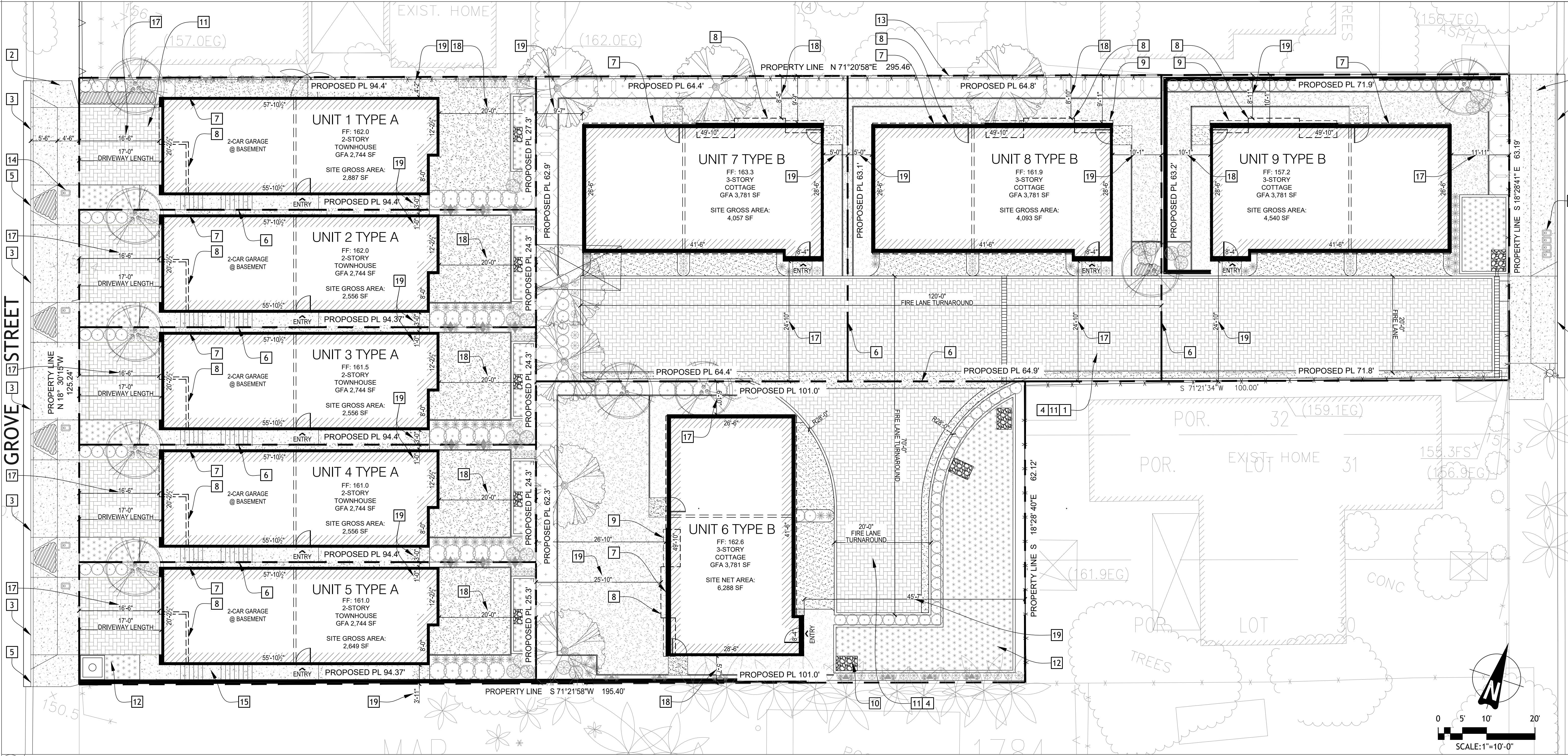
REVISIONS: DATE:

TITLE PAGE:
PROPOSED PLOT PLAN

DATE:
7/12/22

SHEET NO.
CS

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1 PROPOSED PLOT PLAN

KEY LEGEND	
1	PROPOSED PRIVATE ROAD AND UTILITIES EASEMENT PER CIVIL PLANS.
2	PROPOSED 10' CONCRETE SIDEWALK PER CIVIL PLANS.
3	PROPOSED 16' CONCRETE DRIVEWAY PER CIVIL PLANS.
4	PROPOSED 20' WIDE FIRE LANE.
5	PROPOSED 6" CONCRETE CURB AND GUTTER PER CIVIL PLANS.
6	PROPOSED SUBDIVISION PROPERTY LINE.
7	PROPOSED BUILDING OUTLINE.
8	PROPOSED BUILDING OUTLINE ABOVE.
9	PROPOSED ROOF OUTLINE ABOVE.
10	PROPOSED RIP RAP MAT PER CIVIL PLANS.
11	PROPOSED HEAVY LOAD CAPACITY PERMEABLE PAVERS PER LANDSCAPE PLANS.
12	PROPOSED LANDSCAPE AREA PER LANDSCAPE PLANS.
13	PROPOSED 5' HEIGHT WOOD FENCE, TYPICAL.
14	PROPOSED WATER METER LOCATION PER CIVIL PLANS, TYPICAL.
15	CONCRETE STAIRS.
16	PROPOSED 18' CONCRETE DRIVEWAY PER CIVIL PLANS.
17	PROPOSED FRONT YARD SETBACK.
18	PROPOSED REAR YARD SETBACK.
19	PROPOSED SIDE YARD SETBACK.

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PROJECT:
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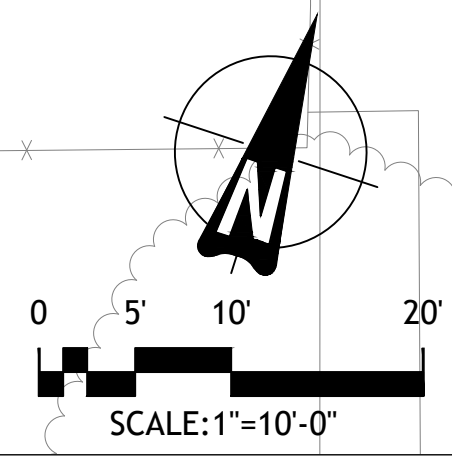
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UTILITY NOTES

- LOCAL EXHAUST FANS TO EXTERIOR TO PROVIDE MINIMUM 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS VENTILATION.
- SMOKE DETECTORS TO BE INTERCONNECTED PER CRC R314.4 AND HARD-WIRED WITH BATTERY BACK-UP PER CRC R314.6
- CARBON MONOXIDE ALARMS TO BE INTERCONNECTED PER CRC R315.7 AND HARD-WIRED WITH BATTERY BACK-UP PER CRC R315.5
- 4" Ø DRYER VENT WITH MAXIMUM 14 FOOT COMBINED HORIZONTAL AND VERTICAL LENGTH WITH TWO 90 DEGREE ELBOWS.
- A MECHANICAL EXHAUST VENTILATION SYSTEM, SUPPLY VENTILATION SYSTEM, OR COMBINATION THEREOF SHALL BE INSTALLED FOR EACH DWELLING UNIT TO PROVIDE WHOLE-BUILDING VENTILATION WITH OUTDOOR AIR IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION.
- AN INTERMITTENTLY OR CONTINUOUSLY OPERATING LOCAL MECHANICAL EXHAUST VENTILATION SYSTEM SHALL BE INSTALLED IN EACH BATHROOM WITH A BATHTUB, SHOWER, OR SIMILAR MOISTURE SOURCE AND IN EACH KITCHEN IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION. INTERMITTENT LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 50 CFM IN BATHROOMS AND 100 CFM IN KITCHENS. CONTINUOUS LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 20 CFM IN BATHROOMS AND 5 AIR CHANGES PER HOUR IN KITCHENS BASED ON KITCHEN VOLUME.
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- LISTED GASKETED SELF CLOSING DOOR REQUIRED FOR GAS FAU

LIGHTING NOTES

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- ALL LED LUMINAIRES AND LAMPS SHALL BE MARKED "JA8-2019" AND LISTED IN THE CALIFORNIA ENERGY COMMISSION DATABASE AT [HTTPS://CACERTAPPLIANCES.ENERGY.CA.GOV/PAGES/APPLIANCESEARCH.ASPX](https://cacertappliances.energy.ca.gov/pages/appliancesearch.aspx)
- ALL RECESSED DOWNLIGHT AND ENCLOSED LUMINAIRES SHALL BE MARKED "JA8-2019-E" AND LISTED IN THE CALIFORNIA ENERGY COMMISSION DATABASE AT [HTTPS://CACERTAPPLIANCES.ENERGY.CA.GOV/PAGES/APPLIANCESEARCH.ASPX](https://cacertappliances.energy.ca.gov/pages/appliancesearch.aspx)
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 - ASTRONOMICAL TIME CLOCK
 - ENERGY MANAGEMENT CONTROL SYSTEM PER CBEES 150.0(K)3A11IC

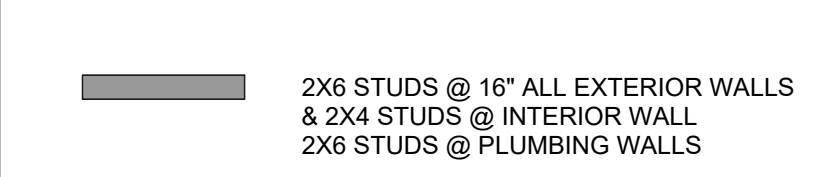
FLOOR PLAN NOTES

- EXTERIOR WALLS WITHIN 3 FEET OF PROPERTY LINE (SPRINKLERS) OR 5 FEET OF PROPERTY LINE (WITHOUT SPRINKLERS) REQUIRE 1-HOUR FIRE RATING FOR EXPOSURE TO BOTH SIDES
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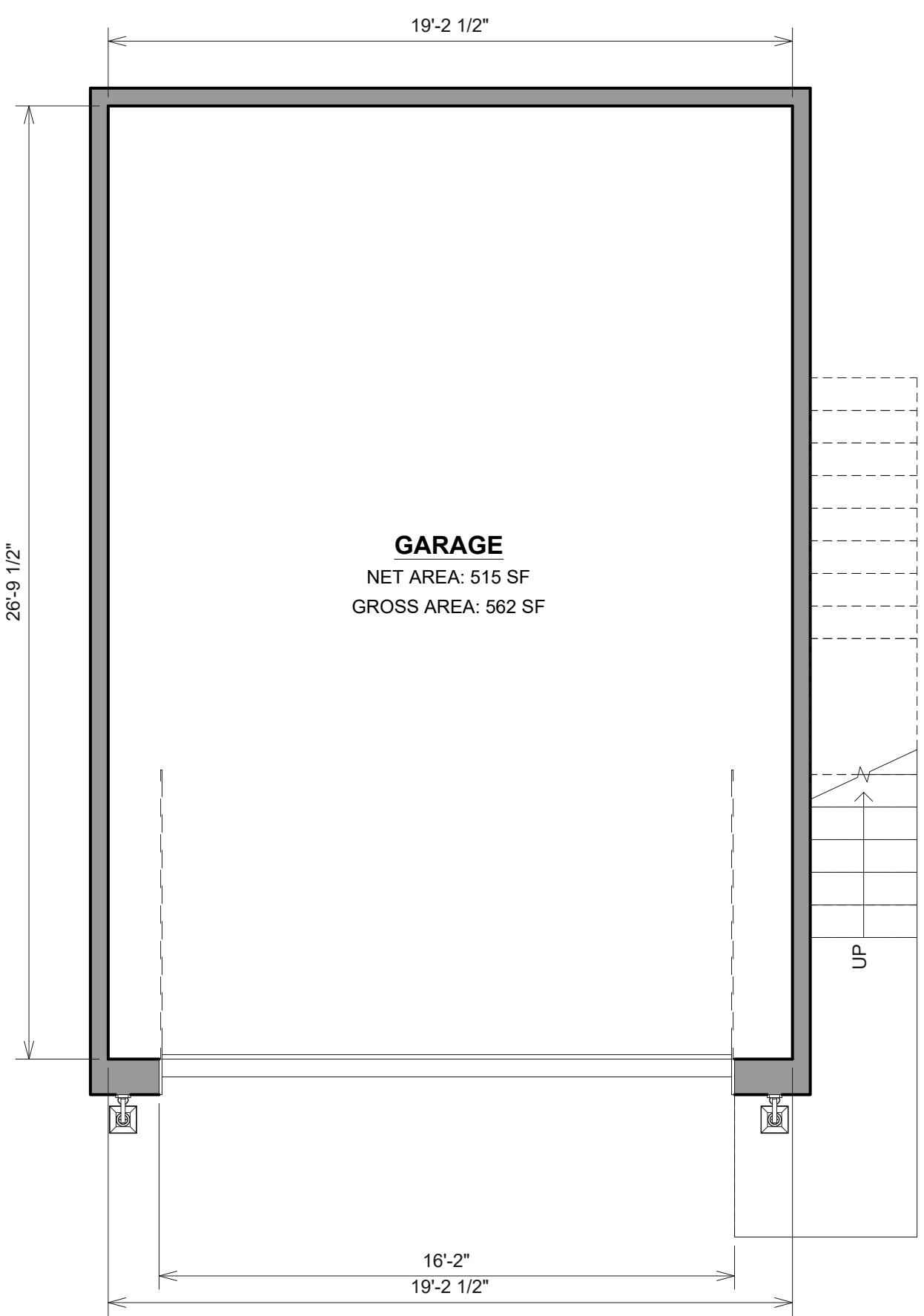
KEYNOTES

- | | |
|----|--------------|
| 1 | KITCHEN SINK |
| 2 | RANGE |
| 3 | RANGE HOOD |
| 4 | REFRIGERATOR |
| 5 | DISHWASHER |
| 6 | LAVATORY |
| 7 | WATER CLOSET |
| 8 | BATHTUB |
| 9 | WASHER |
| 10 | DRYER |

WALL LEGEND

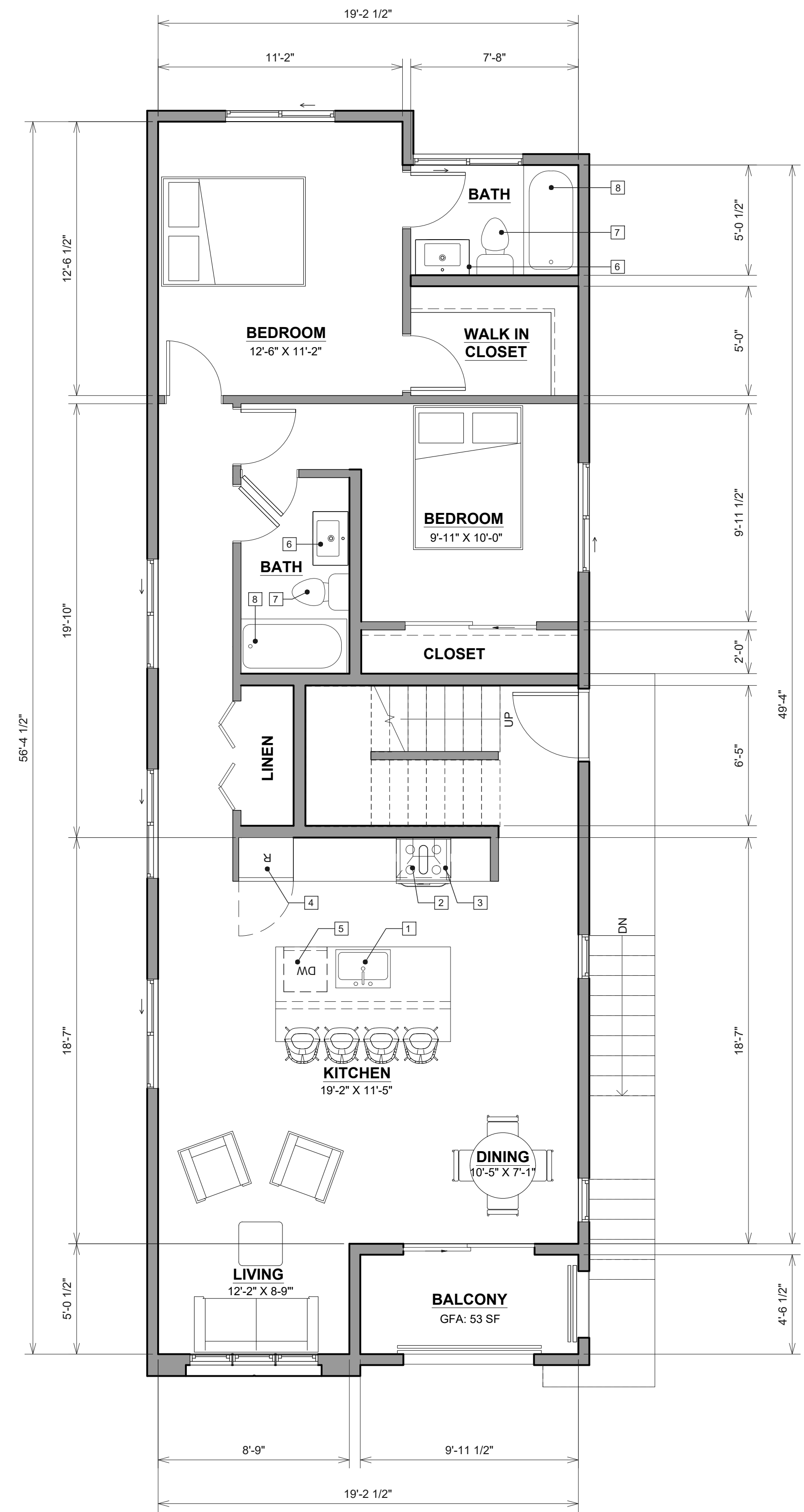


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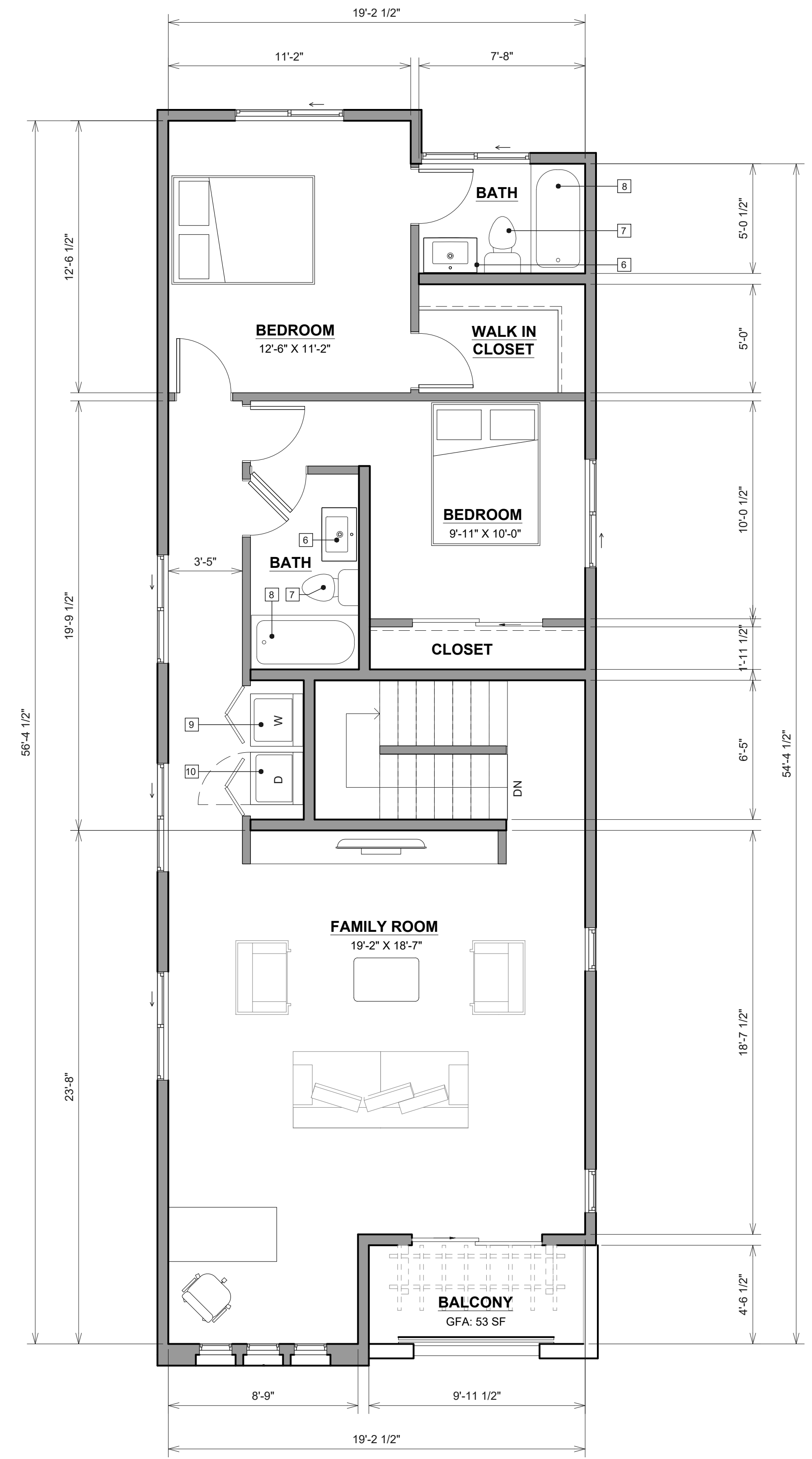
1 UNIT TYPE A - GARAGE - GFA = 562 SF

SCALE: 1/4" = 1' - 0"



2 UNIT TYPE A - FIRST FLOOR - GFA = 1,091 SF

SCALE: 1/4" = 1' - 0"



3 UNIT TYPE A - SECOND FLOOR - GFA = 1,091 SF

SCALE: 1/4" = 1' - 0"

PROJECT:
 GROVE DEVELOPMENT
ADDRESS:
 2121 GROVE ST. NATIONAL CITY, CA 91950
DESIGNER:
 ENE-TE STUDIO

PHASE:

REVISIONS: **DATE:**

TITLE PAGE:
 UNIT TYPE A
 FLOOR PLANS
DATE:
 06/22/22

SHEET NO.
A01

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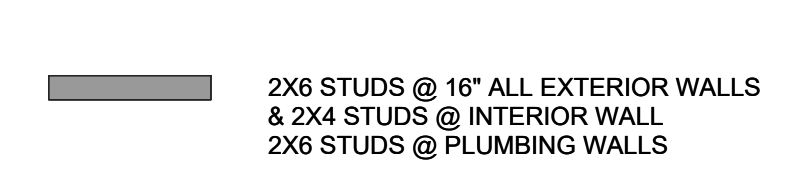
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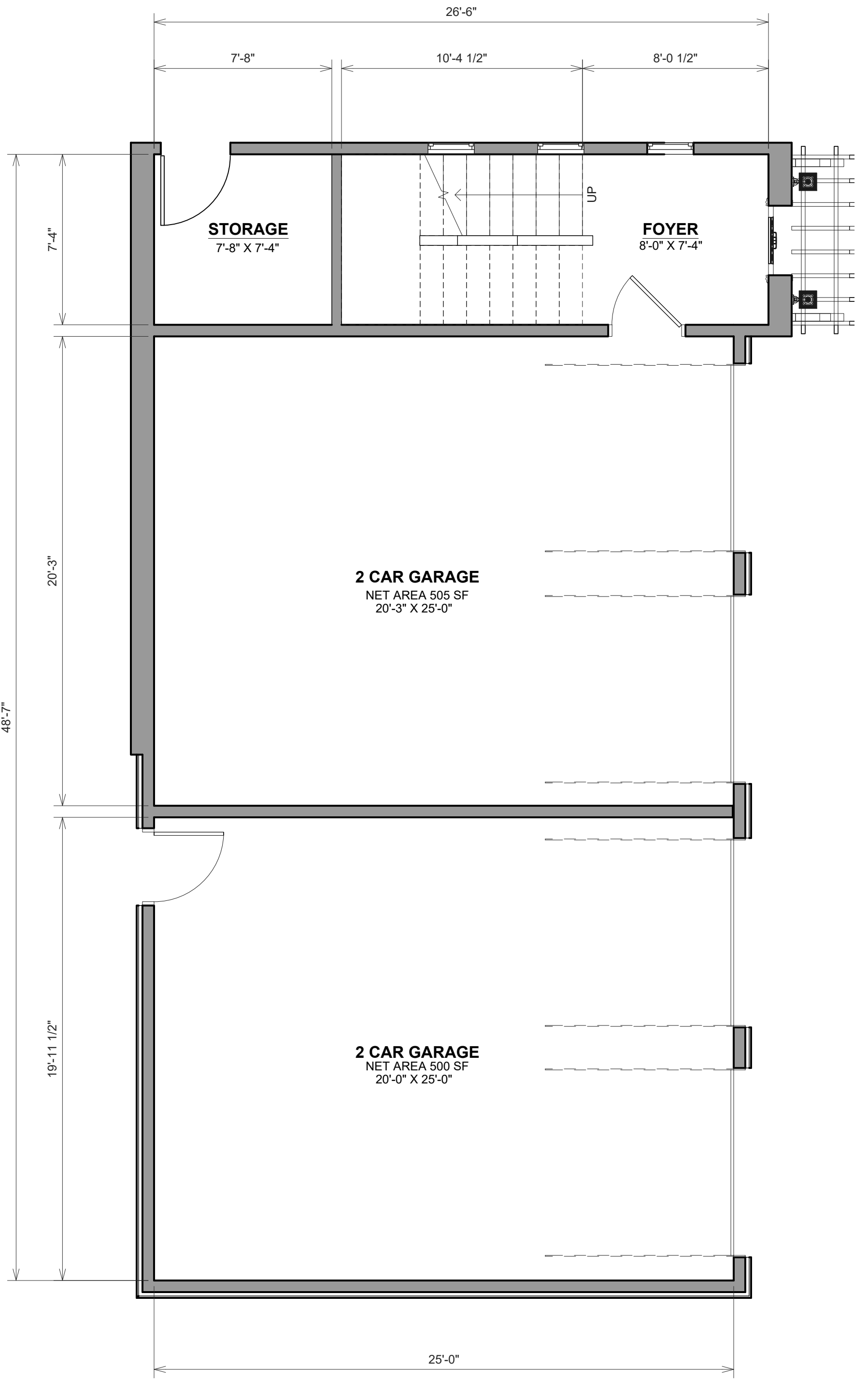
KEYNOTES

- | | |
|----|--------------|
| 1 | KITCHEN SINK |
| 2 | RANGE |
| 3 | RANGE HOOD |
| 4 | REFRIGERATOR |
| 5 | DISHWASHER |
| 6 | LAVATORY |
| 7 | WATER CLOSET |
| 8 | BATHTUB |
| 9 | WASHER |
| 10 | DRYER |

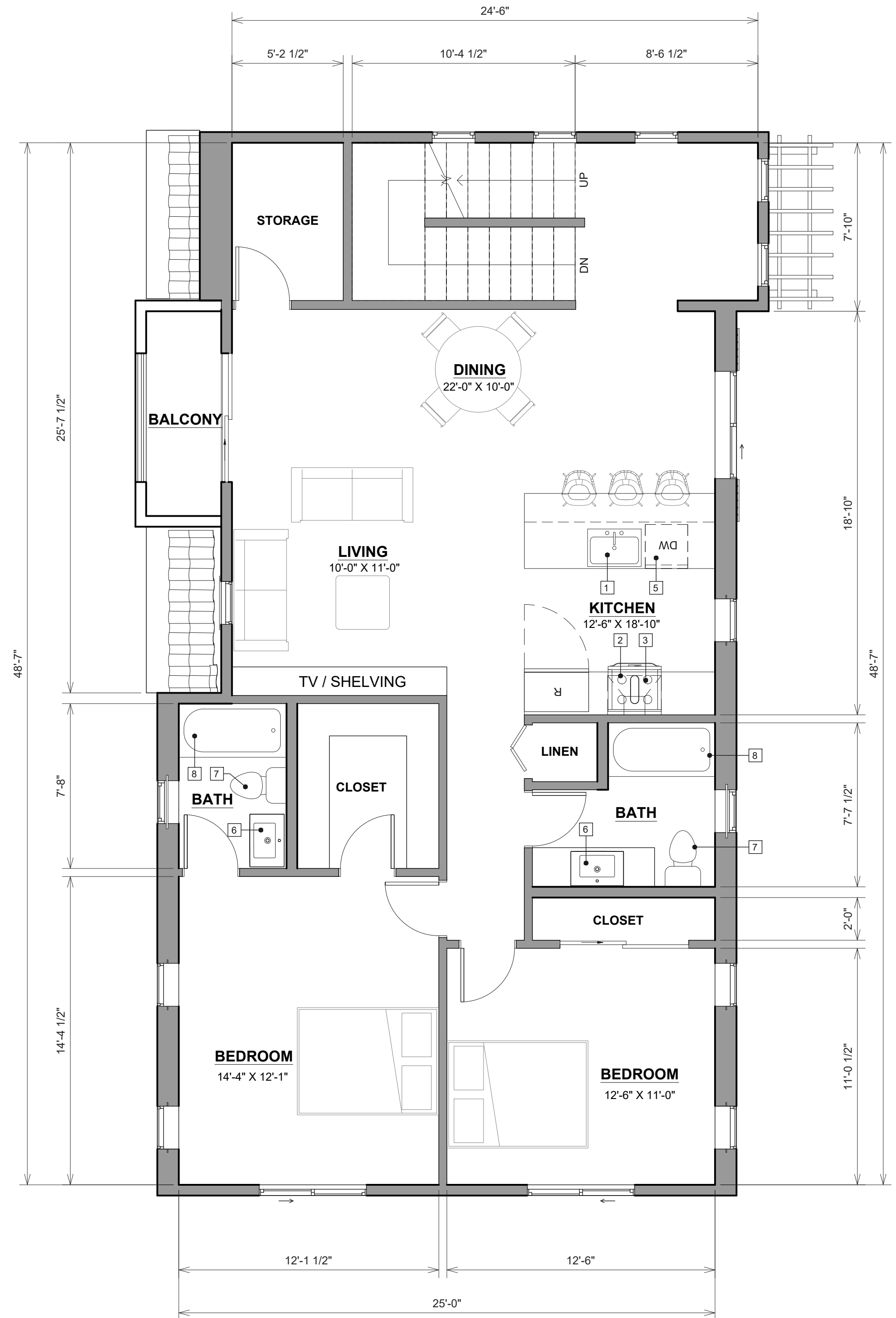
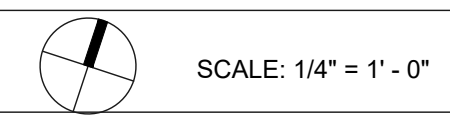
WALL LEGEND



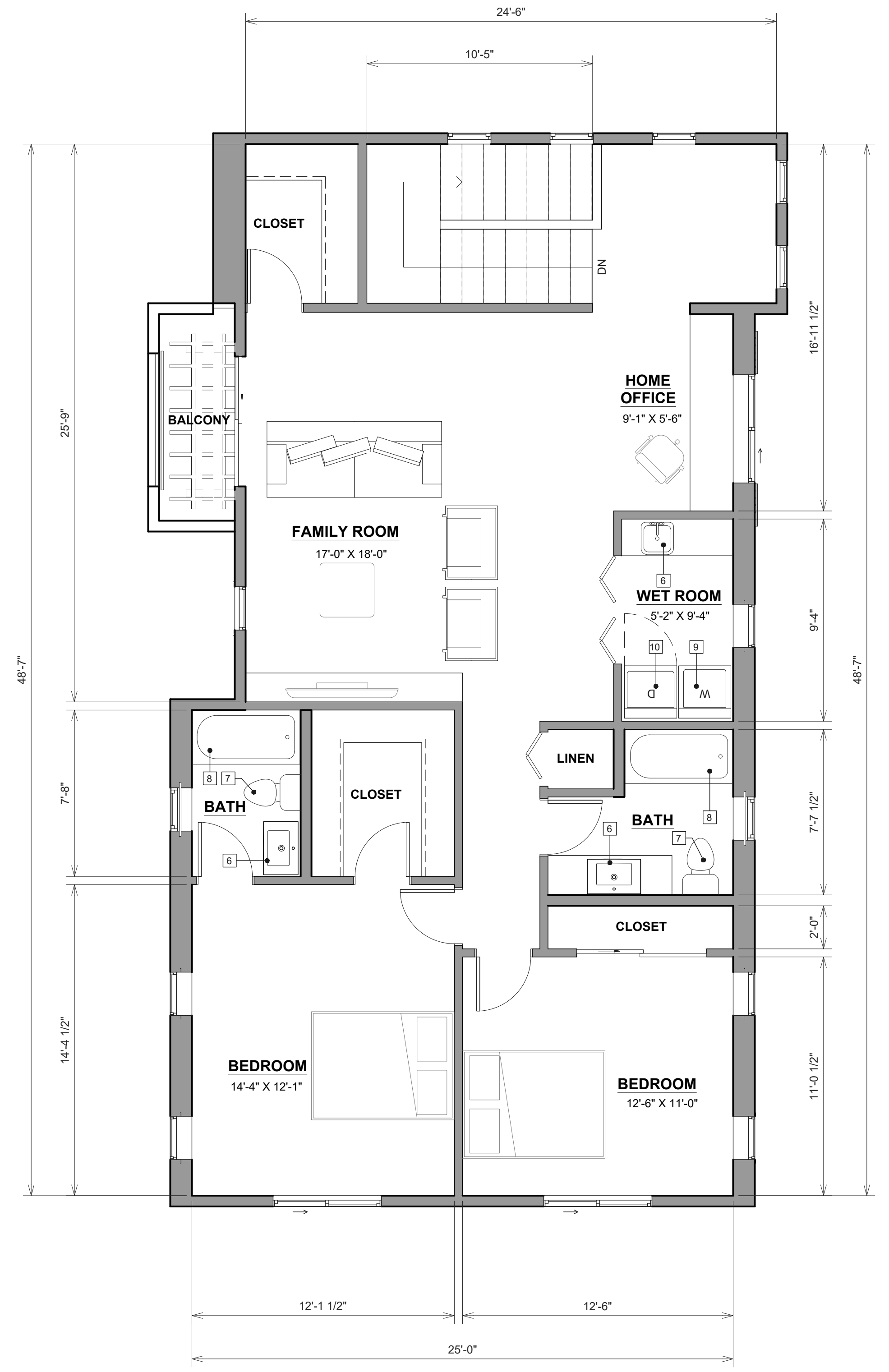
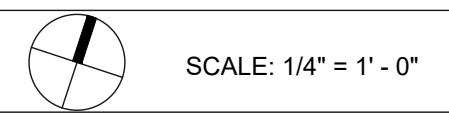
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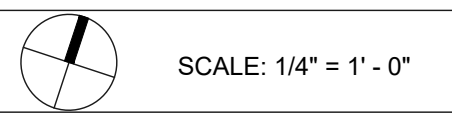
1 UNIT TYPE B - GARAGE - GFA = 1,301 SF



2 UNIT TYPE B - FIRST FLOOR - GFA = 1,240 SF



3 UNIT TYPE B - SECOND FLOOR - GFA = 1,240 SF



PROJECT:
GROVE DEVELOPMENT
ADDRESS:
 2121 GROVE ST. NATIONAL CITY, CA 91950
DESIGNER:
 ENE-TE STUDIO

PHASE:

REVISIONS: DATE:

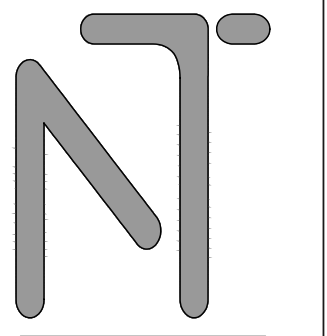
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 UNIT TYPE B
 FLOOR PLANS
DATE:
 07/12/22

SHEET NO.
A02

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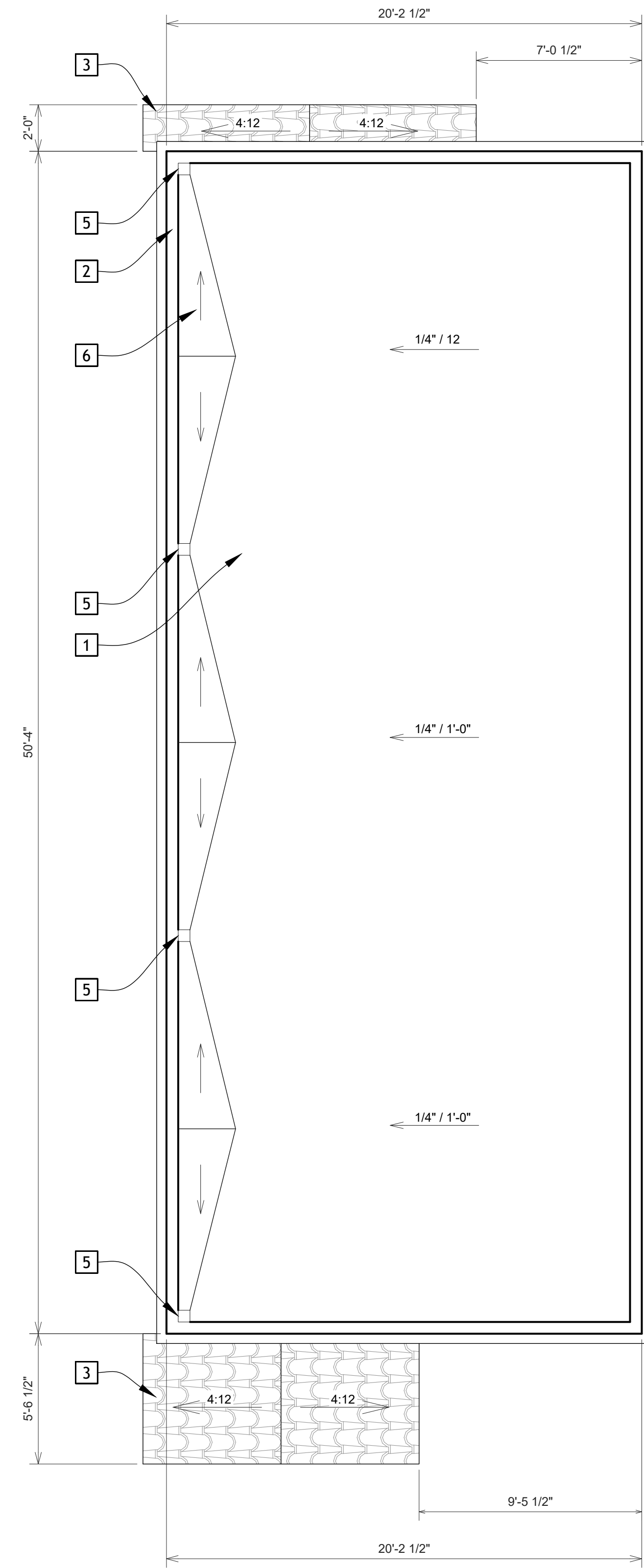
KEYNOTES

- 1 FLAT ROOF, CLASS "A" ASSEMBLY.
- 2 PARAPET WITH TILE CAP.
- 3 CONCRETE ROOF TILES OVER CLASS "A" ROOF ASSEMBLY.
- 4 WOOD CANOPY.
- 5 DRAIN AND OVERFLOW.
- 6 CRICKET.



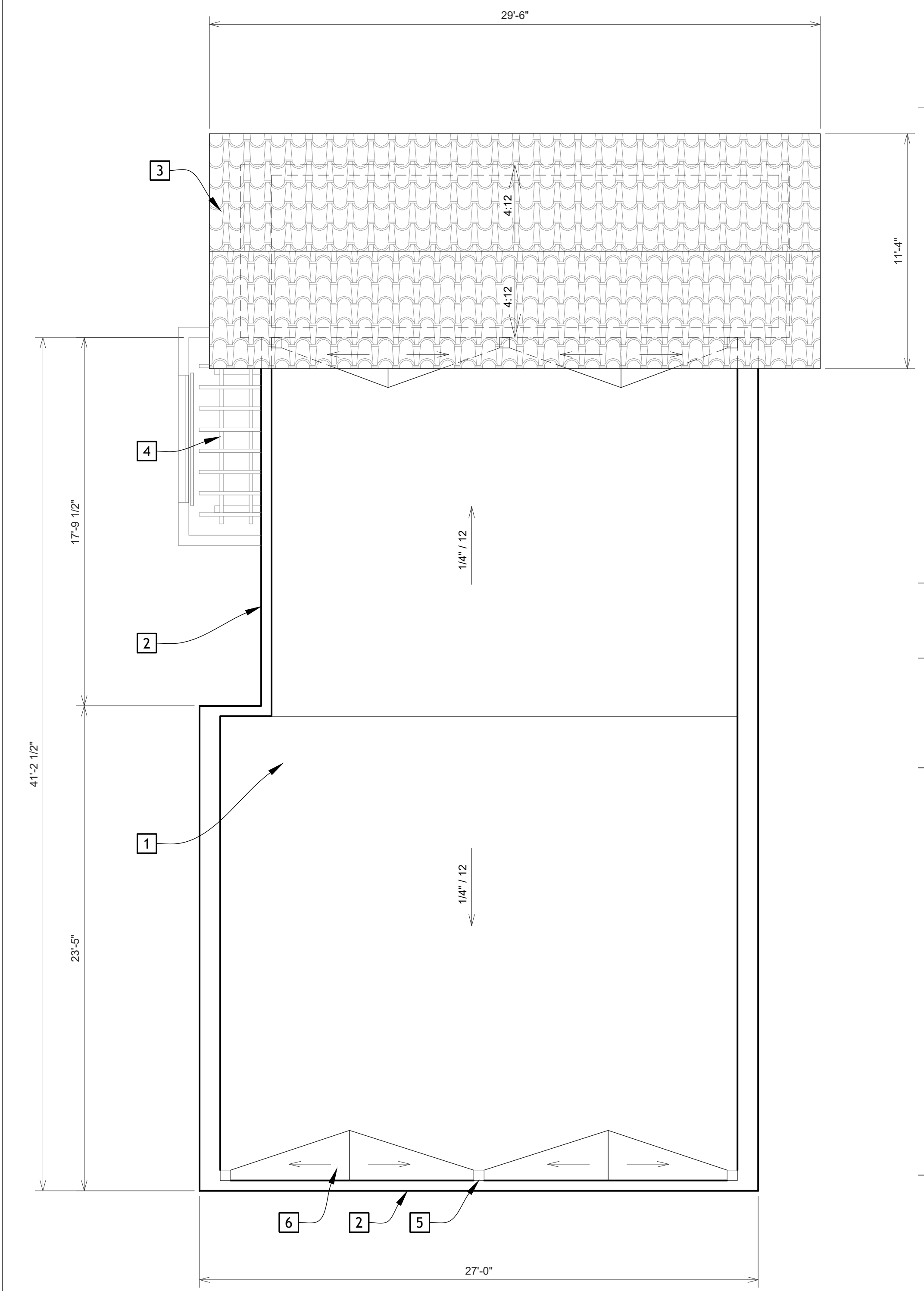
ene-te studio
 Agustín Navarro/Daniel James
 Directors/Designers

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 SAN DIEGO, CA 92101
 Cell: 619-760-4422
 619-888-7502
 Email: enetestudio@gmail.com



1 UNIT TYPE A - ROOF PLAN

SCALE: 1/4" = 1' - 0"



2 UNIT TYPE B - ROOF PLAN

SCALE: 1/4" = 1' - 0"

PROJECT:
GROVE DEVELOPMENT
 ADDRESS:
 2121 GROVE ST. NATIONAL CITY, CA 91950
 DESIGNER:
 ENE-TE STUDIO

PHASE:

REVISIONS: DATE:

TITLE PAGE:
 ROOF PLANS

DATE:
 07/12/22

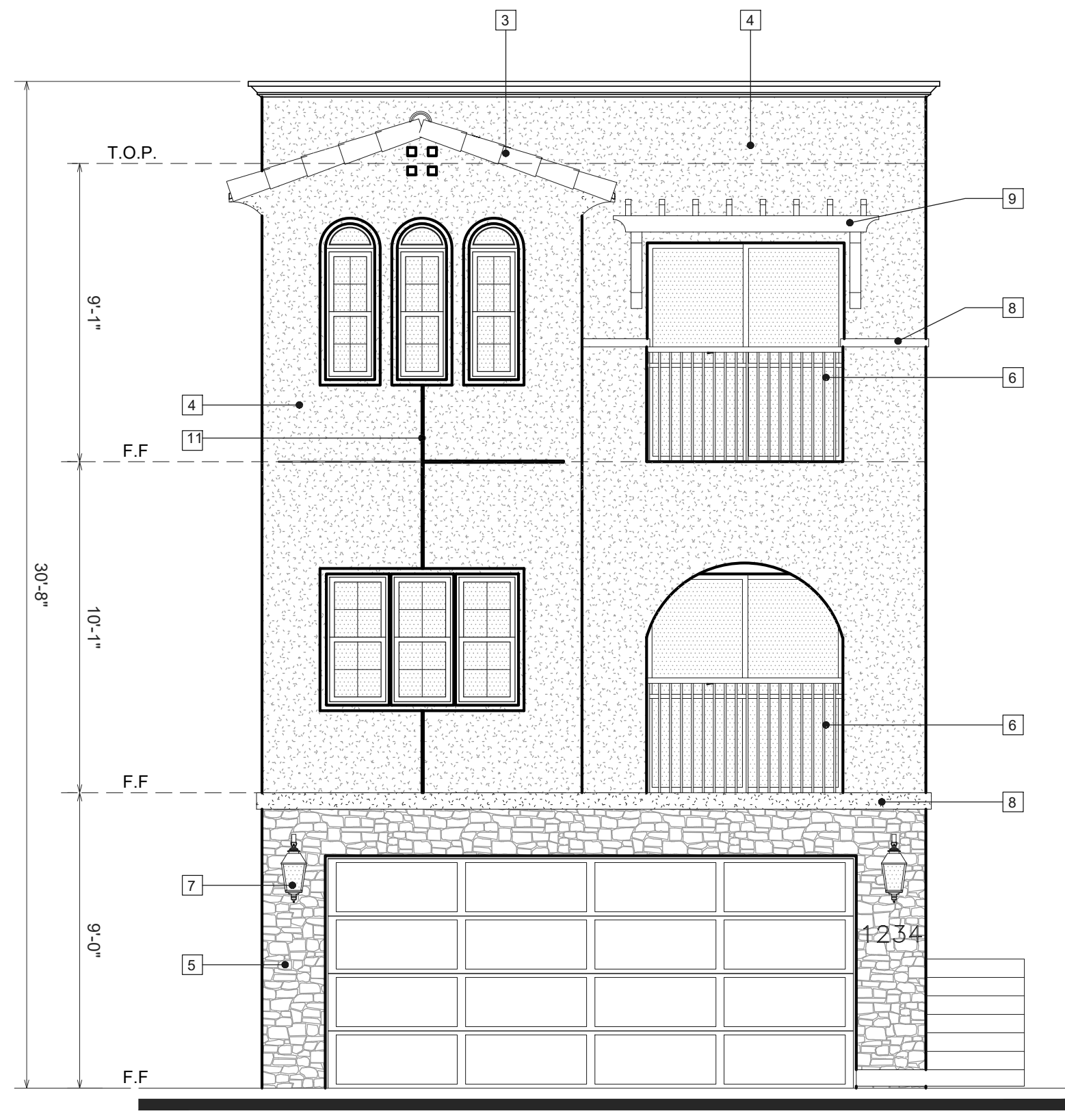
SHEET NO.

A03

ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF ENE-TE STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF ENE-TE STUDIO.

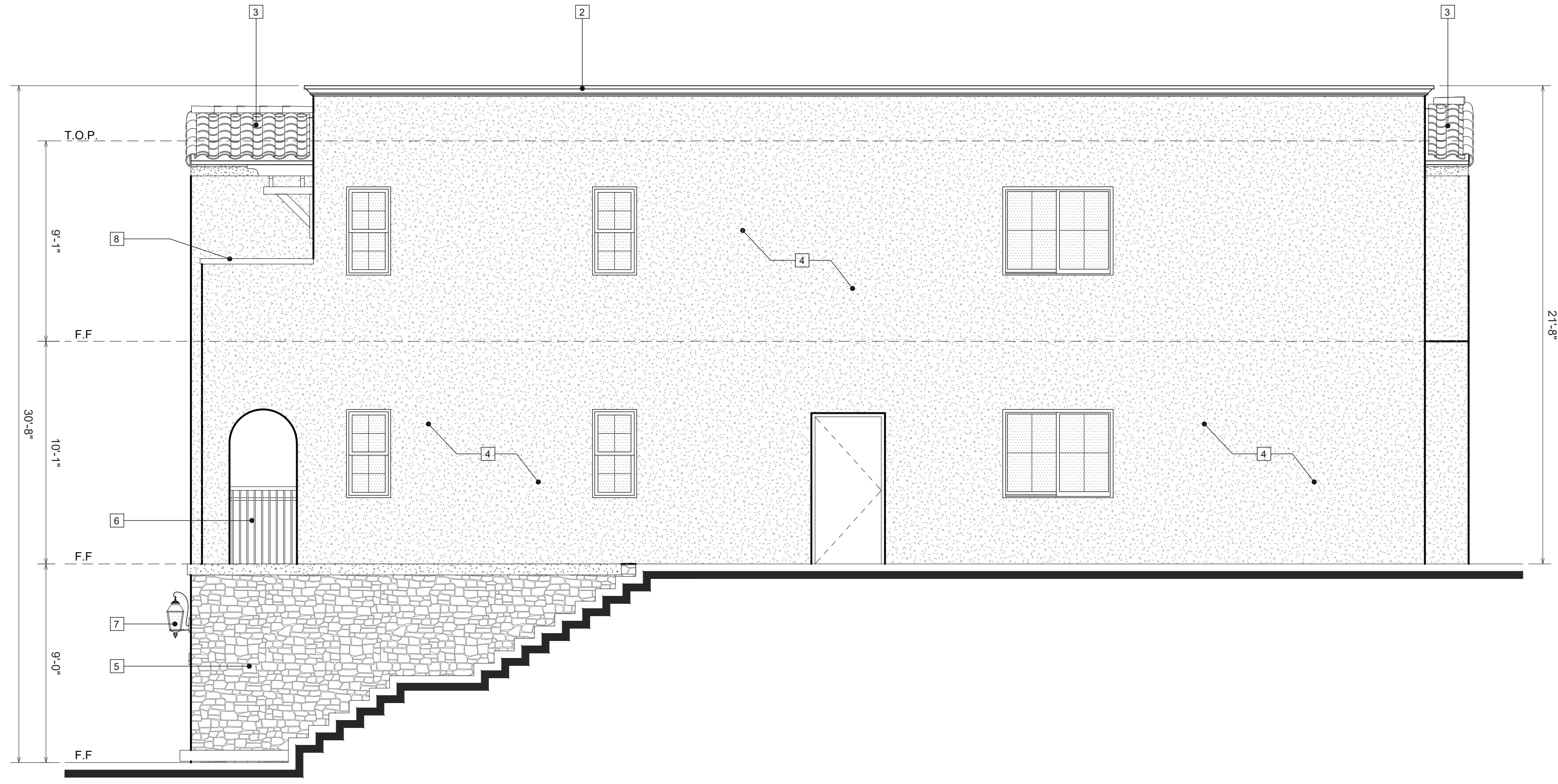
KEYNOTES

- 1 FLAT ROOF, CLASS "A" ASSEMBLY
- 2 PARPAET WITH ROFF TILE CAP
- 3 CONCRETE ROOF TILES OVER CLASS "A" ROOF ASSEMBLY
- 4 EXTERIOR CEMENT PLASTER (STUCCO).
- 5 STONE VENEER TILE
- 6 METAL RAILING
- 7 WALL SCONCE LIGHT
- 8 WALL CAP
- 9 WOOD CANOPY
- 10 DECORATIVE CORBEL
- 11 CEMENT PLASTER CONTROL JOINT



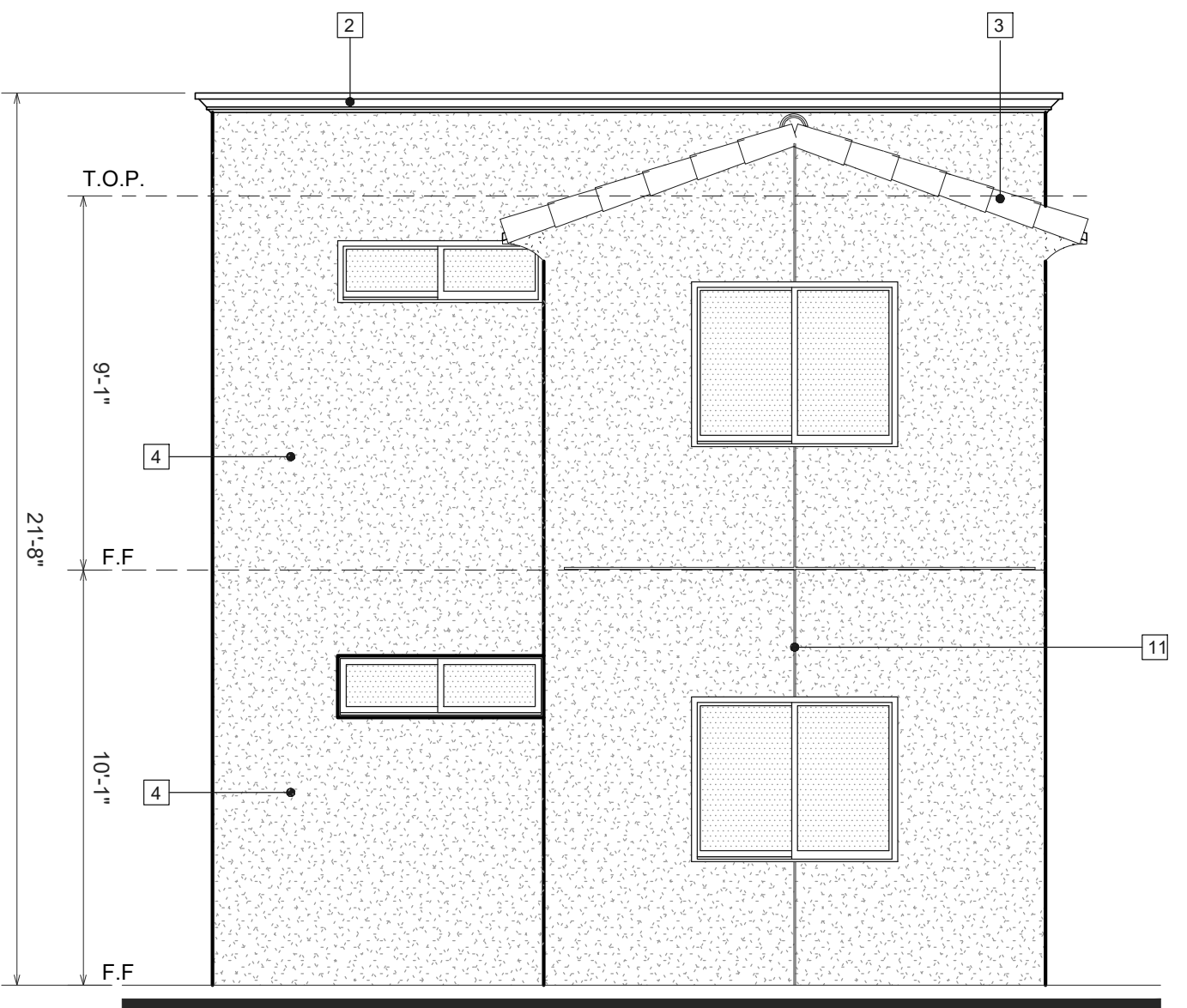
1 UNIT TYPE A FRONT ELEVATION (WEST)

SCALE: 1/4" = 1' - 0"



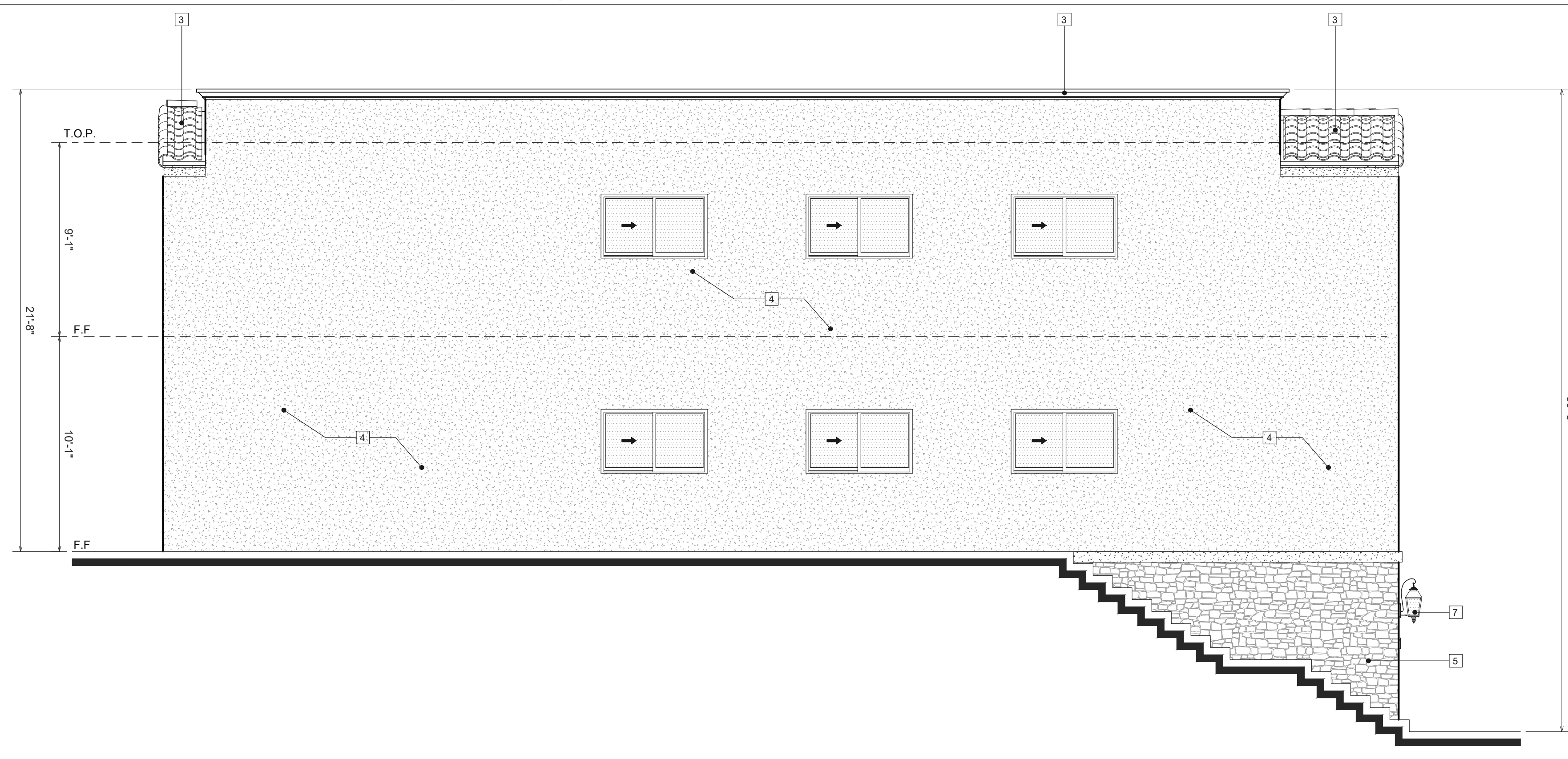
3 UNIT TYPE A SIDE ELEVATION (SOUTH)

SCALE: 1/4" = 1' - 0"



2 UNIT TYPE A REAR ELEVATION (EAST)

SCALE: 1/4" = 1' - 0"



4 UNIT A TYPE SIDE ELEVATION. (NORTH)

SCALE: 1/4" = 1' - 0"

PROJECT:
 GROVE DEVELOPMENT
ADDRESS:
 2121 GROVE ST. NATIONAL CITY, CA 91950
DESIGNER:
 ENE-TE STUDIO

PHASE:

REVISIONS: DATE:

TITLE PAGE:
 UNIT TYPE A ELEVATIONS
DATE:
 07/12/22

SHEET NO.
A04

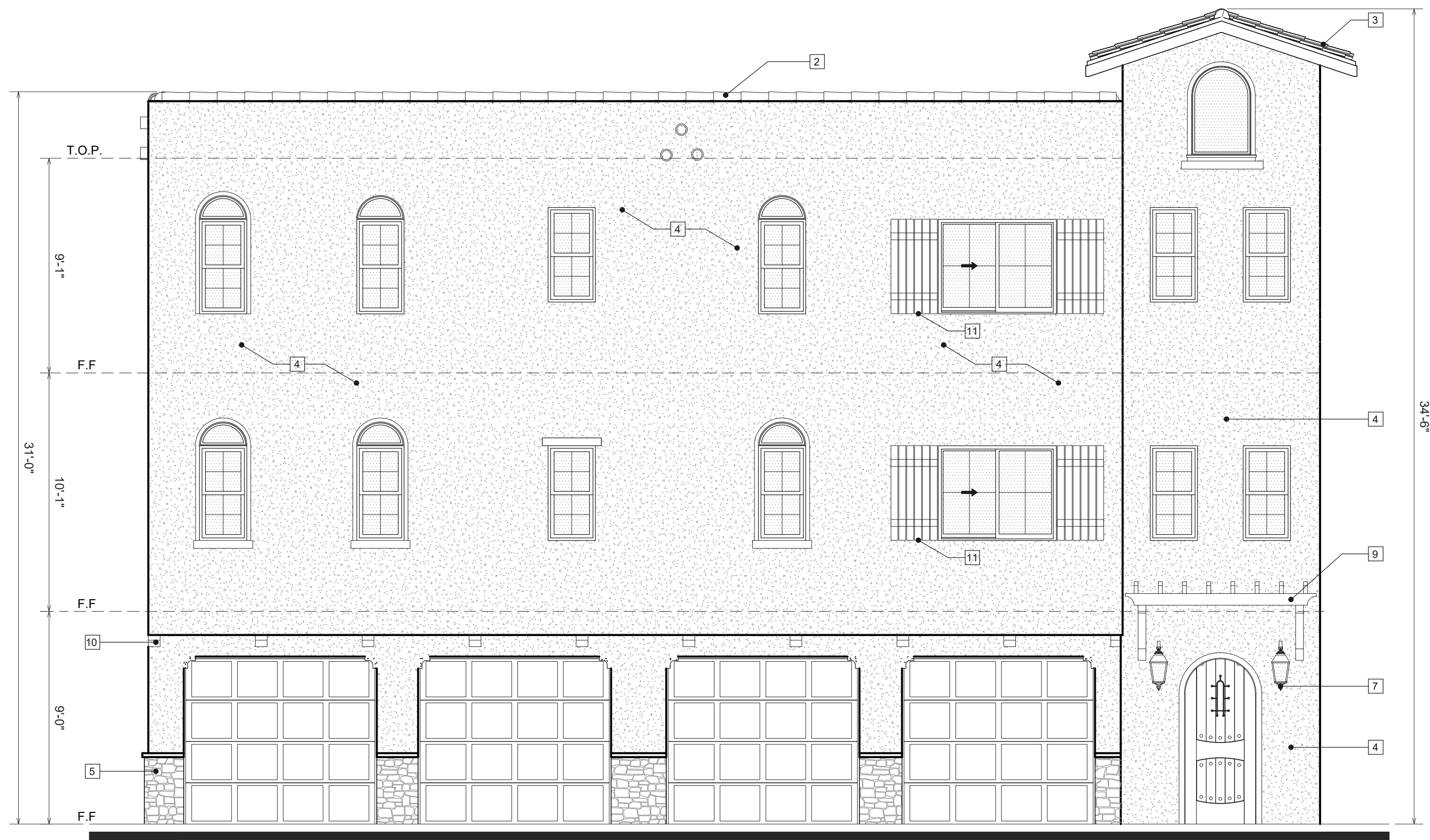
ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF ENE-TE STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF ENE-TE STUDIO.

KEYNOTES

- 1 FLAT ROOF, CLASS "A" ASSEMBLY ICC ES-1274 ROBERROID MOP SURFACED OVER 1/2" CDX PLYWOOD (ROOF COVERING AND SHEATING). BUILT-UP ROOFING SYSTEM SHALL BE U.L. OR ANOTHER LISTING AGENCY APPROVED.
- 2 PARPAET WITH ROFF TILE CAP
- 3 CONCRETE ROOF TILES OVER CLASS "A" ROOF ASSEMBLY
- 4 EXTERIOR CEMENT PLASTER (STUCCO).
- 5 STONE VENEER TILE
- 6 METAL RAILING
- 7 WALL SCONCE LIGHT
- 8 WALL CAP
- 9 WOOD CANOPY
- 10 DECORATIVE CORBEL
- 11 EXTERIOR SHUTTERS



ene-te studio
 Agustin Navarro/Daniel James
 Directors/Designers
 925 B STREET SUITE 300
 SAN DIEGO, CA 92101
 Cell: 619-760-4422
 619-888-7502
 Email: enetestudio@gmail.com



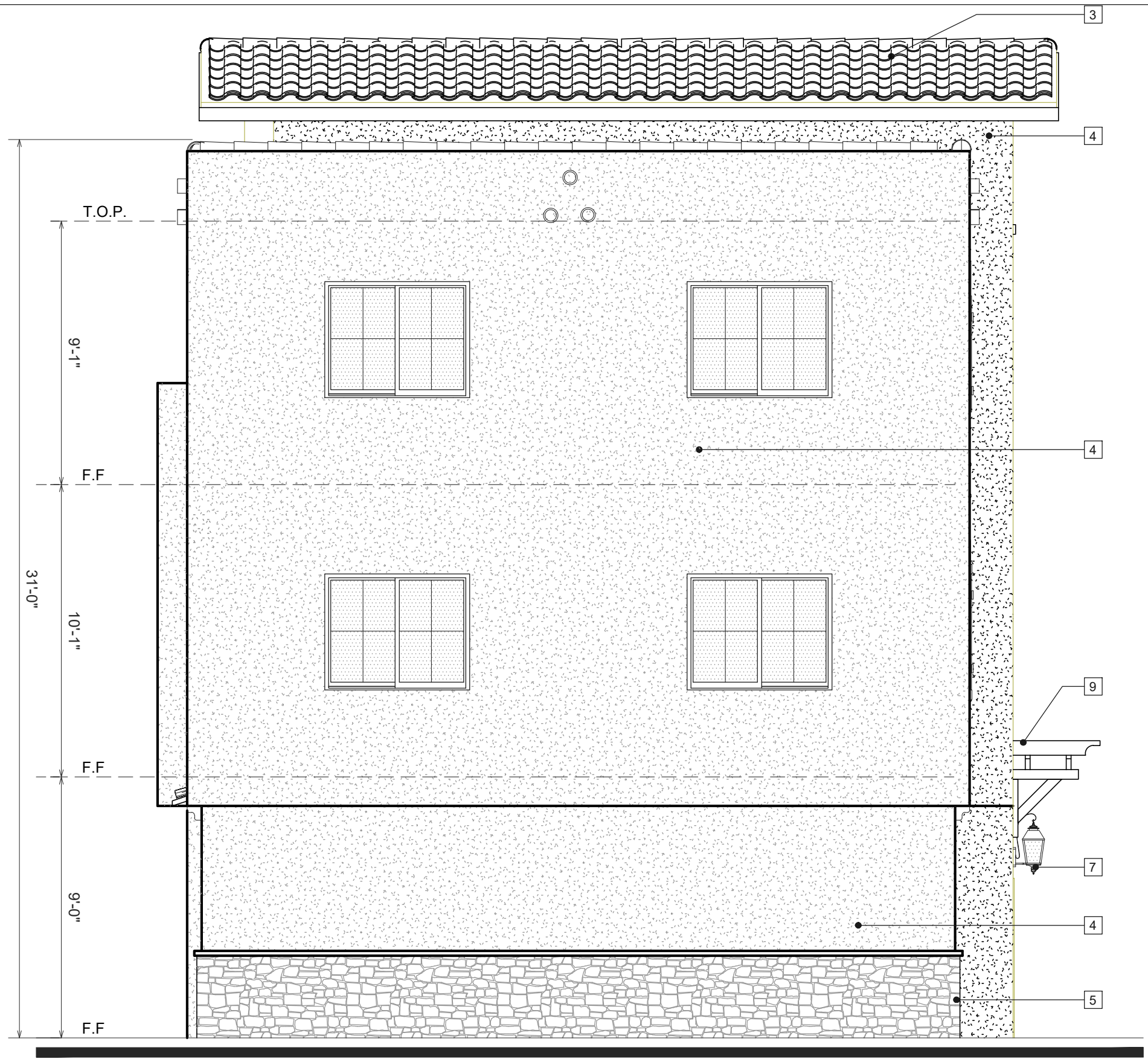
1 UNIT TYPE B FRONT ELEVATION

SCALE: 1/4" = 1' - 0"



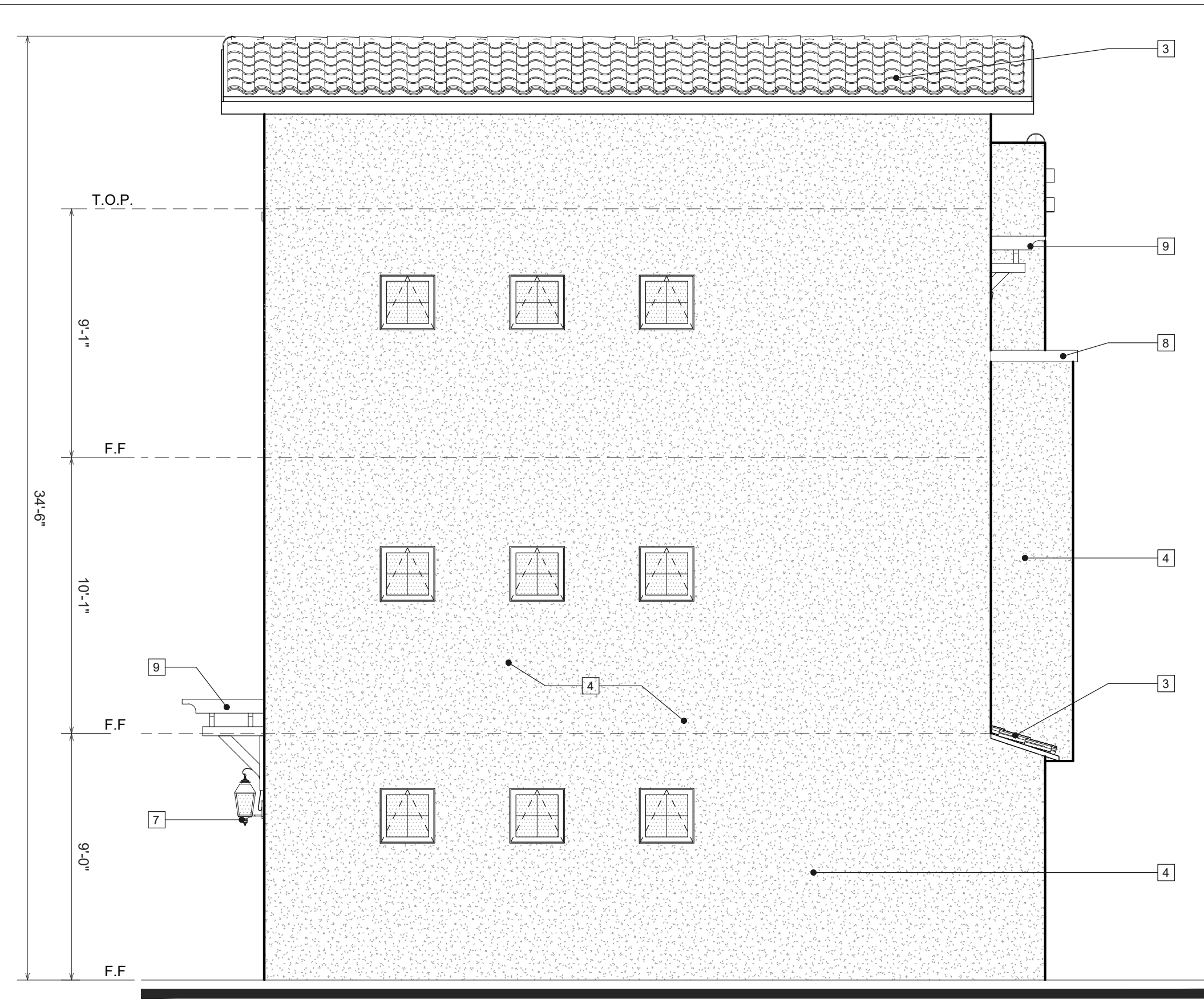
3 UNIT TYPE B SIDE ELEVATION

SCALE: 1/4" = 1' - 0"



2 UNIT TYPE B REAR ELEVATION

SCALE: 1/4" = 1' - 0"



4 UNIT B TYPE SIDE ELEVATION.

SCALE: 1/4" = 1' - 0"

PROJECT:
 GROVE DEVELOPMENT
ADDRESS:
 2121 GROVE ST. NATIONAL CITY, CA 91950
DESIGNER:
 ENE-TE STUDIO

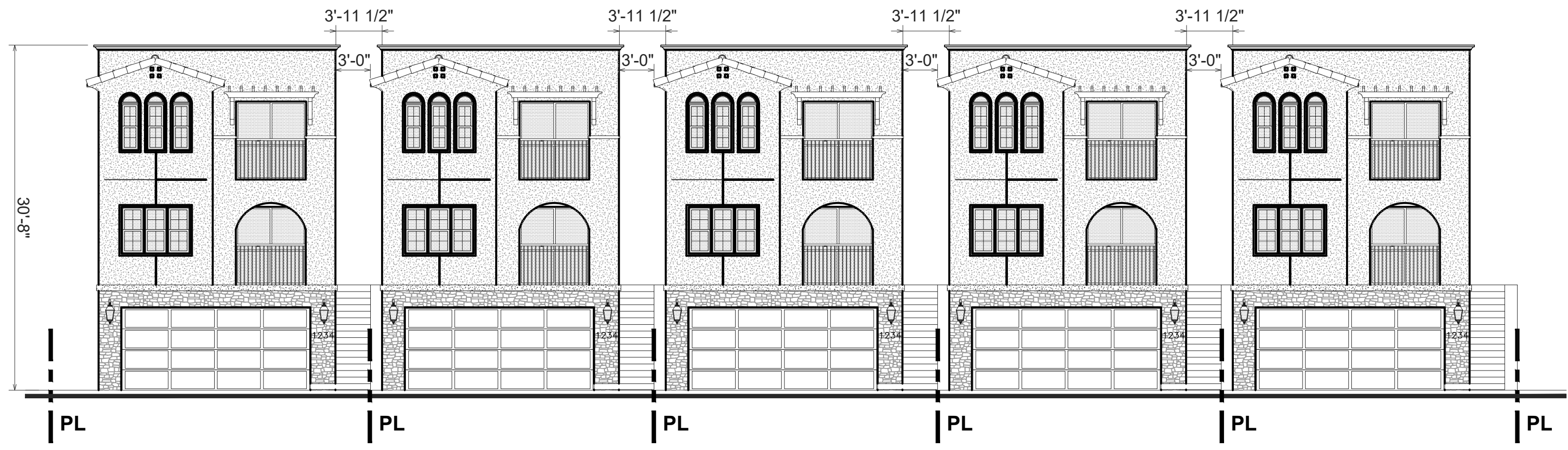
PHASE:

REVISIONS: **DATE:**

TITLE PAGE:
 UNIT TYPE B
 ELEVATIONS
DATE:
 07/12/22

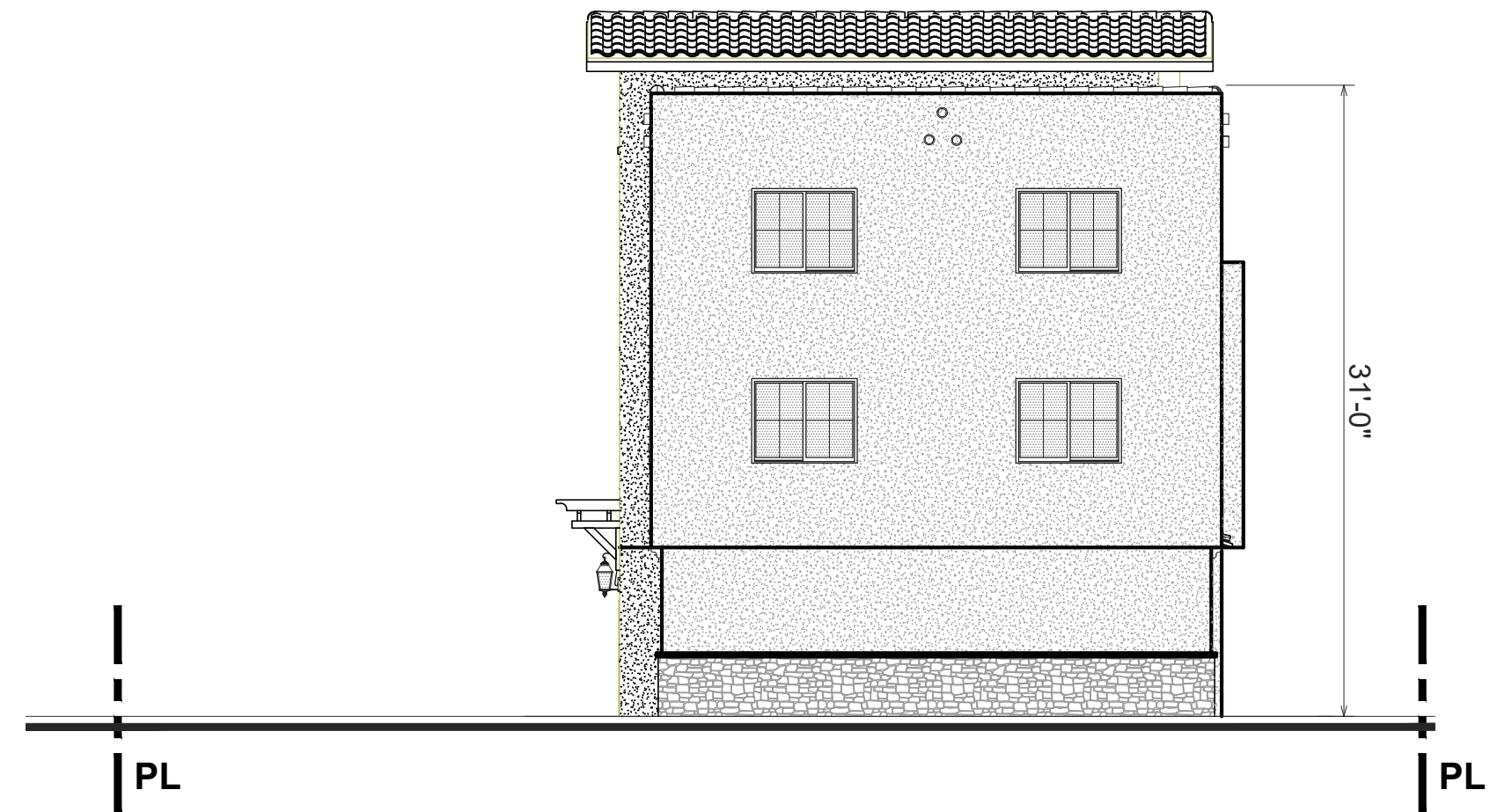
SHEET NO.
A05

ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF ENE-TE STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF ENE-TE STUDIO.



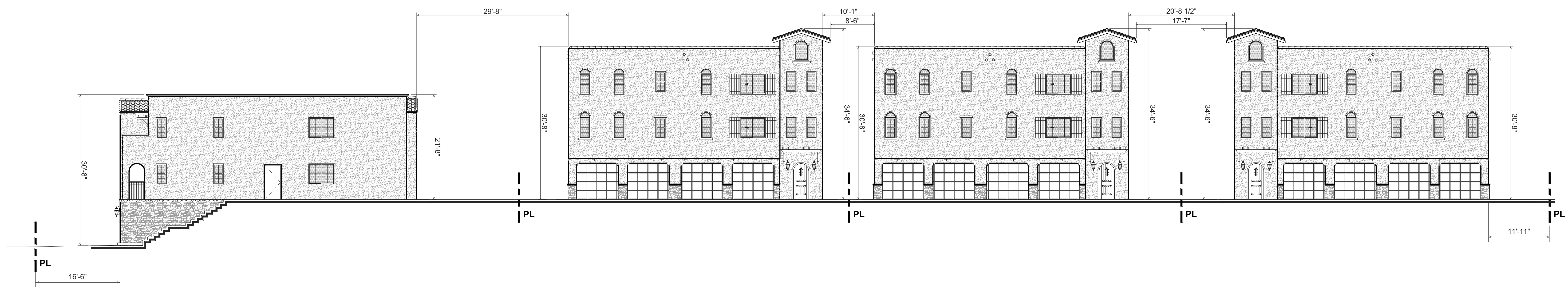
1 GROVE ST. ELEVATION

SCALE: 1/8" = 1' - 0"



2 PROSPECT ST. ELEVATION

SCALE: 1/8" = 1' - 0"



3 SITE CROSS SECTION

SCALE: 1" = 10' - 0"

PROJECT:
 GROVE DEVELOPMENT
ADDRESS:
 2121 GROVE ST. NATIONAL CITY, CA 91950
DESIGNER:
 ENE-TE STUDIO

PHASE:

REVISIONS: DATE:

TITLE PAGE:
 SITE BUILDING
 ELEVATIONS
DATE:
 07/12/22

SHEET NO.
A06

ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF ENE-TE STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF ENE-TE STUDIO.



VIEW FROM GROVE STREET



VIEW FROM ALLEY 01



VIEW FROM ALLEY 02



ene-te studio
 Agustín Navarro/Daniel James
 Directors/Designers
 925 B STREET SUITE 300
 SAN DIEGO, CA 92101
 Cell: 619.760.4422
 619.888.7502
 Email: enetestudio@gmail.com

PROJECT: **GROVE DEVELOPMENT**
 ADDRESS: **2121 GROVE ST. NATIONAL CITY, CA 91950**
 DESIGNER: **ENE-TE STUDIO**

PHASE:

REVISIONS: DATE:

TITLE PAGE:
 EXTERIOR RENDERINGS
 DATE:
 07/12/22

SHEET NO.
A07

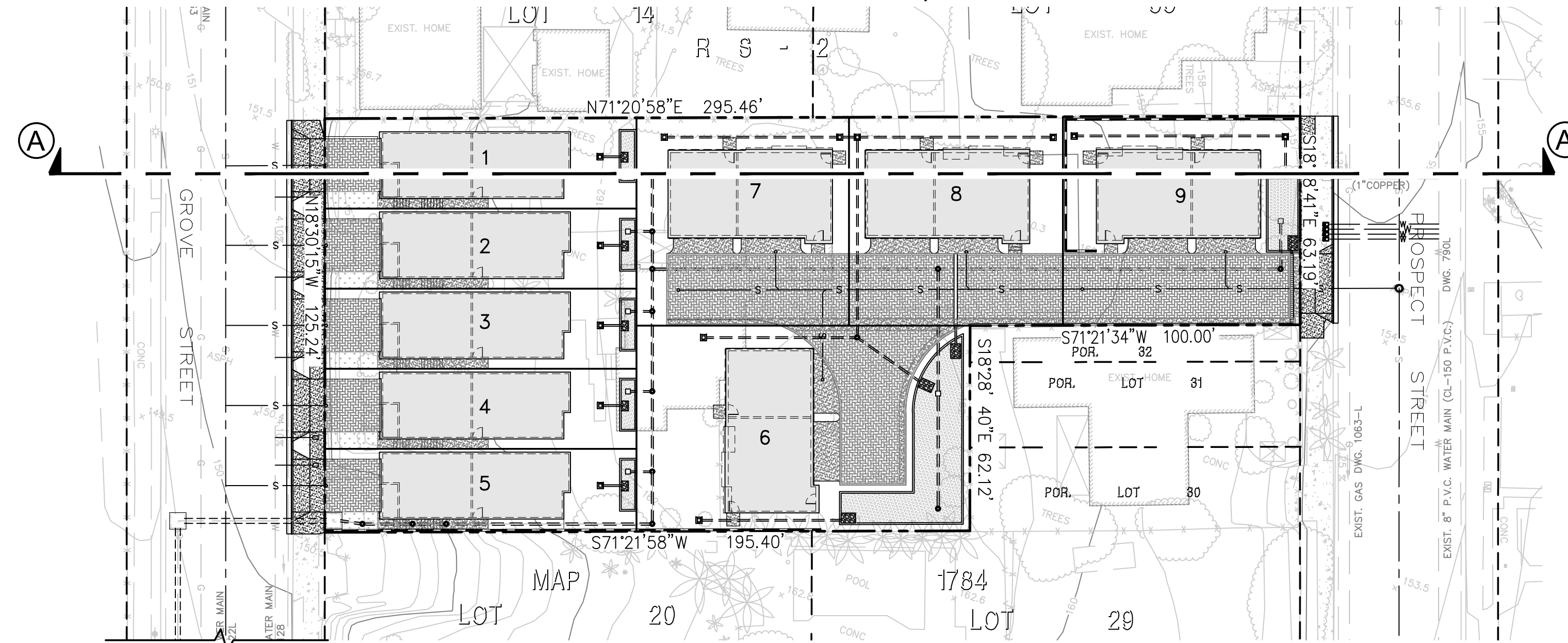
GROVE STREET TENTATIVE SUBDIVISION MAP

2121 GROVE STREET

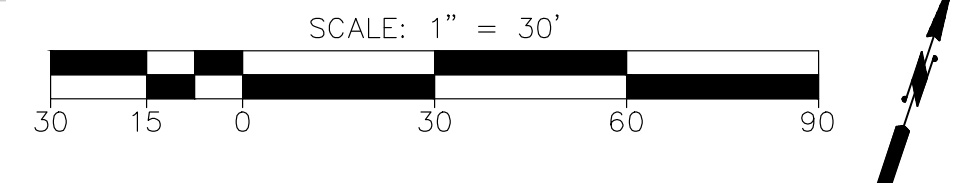
NATIONAL CITY, CALIFORNIA

LEGEND:

EXISTING SPOT ELEVATION	x (85.7)
EXISTING SEWER	S
EXISTING GAS LINE	G
EXISTING WATER LINE	W
EXISTING EDGE OF PAVEMENT	////
CHAIN LINK FENCE	X X
EXISTING CONTOUR	90
EXISTING STREET LIGHT	☼
RIGHT-OF-WAY	R/W
STREET CENTERLINE	CL
PROPOSED LOT	---
PROPOSED 20' G.U.E. & ACCESS EASEMENT	---
PROPOSED CONTOUR	90
PROPOSED WATER LATERAL	W
PROPOSED 6" SEWER LATERAL	S
PROPOSED STORM DRAIN (SIZE VARIES)	---
BIO-RETENTION LID AREAS	▒
PROPOSED RETAINING WALL	▒
PROPOSED BROOKS BOX	□
PROPOSED FRENCH DRAIN	▒
PROPOSED RIPRAP	▒
PROPOSED STORM DRAIN CLEANOUT	○
PROPOSED PAVERS	▒



LOT TABLE		
Lot Number	Lot Gross Area (S.F.)	Lot Net Area (S.F.)
1	2584	2584
2	2288	2288
3	2288	2288
4	2288	2288
5	2372	2372
6	6286	6286
7	4058	2770
8	4092	2798
9	4540	3115



OWNER/SUBDIVIDER NOTE

WE HEREBY CERTIFY THAT WE ARE THE RECORD OWNERS OF THE PROPERTY SHOWN ON THIS TENTATIVE SUBDIVISION MAP AND THAT SAID MAP SHOWS OUR ENTIRE CONTIGUOUS OWNERSHIP (EXCLUDING SUBDIVISION LOTS). WE UNDERSTAND THAT PROPERTY IS CONSIDERED CONTIGUOUS EVEN IF IT IS SEPARATED BY ROADS, STREETS, UTILITY EASEMENTS OR RAILROADS RIGHTS-OF-WAY.

OWNER / SUBDIVIDER

ARNOLD SCHMIDT
3175 CAUBY STREET #90
SAN DIEGO, CA 92110
(619) 224-0386

ARNOLD SCHMIDT

ENGINEER OF WORK:



VICTOR RODRIGUEZ-FERNANDEZ, R.C.E. NO. 35373

DATE

LEGAL DESCRIPTION

LOT 15, 16, 17, 18 AND 19 IN BLOCK 1 OF WESTVIEW FIRST SUBDIVISION, IN THE CITY OF NATIONAL CITY, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF No. 1784, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MARCH 6, 1924.

ALSO LOTS 30 TO 34 INCLUSIVE IN BLOCK 1 OF WESTVIEW FIRST SUBDIVISION, IN THE CITY OF NATIONAL CITY, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF No. 1784, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MARCH 6, 1924.

EXCEPTING THEREFROM THE EASTERLY 100 FEET OF LOTS 30 AND 31, AND THE SOUTHERLY 12 FEET OF THE EASTERLY 100 FEET OF LOT 32 IN SAID BLOCK 1.

GENERAL NOTES:

1. THE COMPLETE TAX ASSESSOR'S PARCEL NUMBER IS: 561-380-24
2. TOTAL NUMBER OF EXISTING LOTS: 1
3. TOTAL NUMBER OF LOTS PROPOSED: 9
4. LAND USE DESIGNATION: SINGLE FAMILY SMALL LOT (RS-2)
5. GENERAL PLAN USE DESIGNATION/LOT ZONING: SINGLE FAMILY EXTENDIBLE (RS-2)
6. ACTUAL GROSS AREA PER THIS TENTATIVE MAP IS 0.707 ACRES GROSS
7. WATER DISTRICT: SWEETWATER AUTHORITY
8. SEWER DISTRICT: NATIONAL CITY
9. ELECTRIC: SAN DIEGO GAS & ELECTRIC
10. GAS: SAN DIEGO GAS & ELECTRIC
11. TELEPHONE: PAC BELL
12. CABLE: COX CABLE CO.
13. SCHOOL DISTRICT(S): NATIONAL SCHOOL DISTRICT
14. TOPO SURVEY: AERIAL TOPOGRAPHY AND FIELD MEASUREMENTS PERFORMED ON AUGUST 2016.
15. EXISTING SITE USE: SINGLE FAMILY HOME
16. PROPOSED SITE USE: 9 SINGLE FAMILY HOMES

AERIAL TOPOGRAPHY

AERIAL TOPOGRAPHY SUPPLIED BY:
ARROW SURVEYS, INC.
1283 E. MAIN STREET, SUITE 204
EL CAJON, CA 92021
FLIGHT DATE: JANUARY 23, 2007

BENCH MARK

2" BRASS DISK SET IN 10" DIAMETER CONCRETE CYLINDER, THE STATION IS LOCATED AT THE SOUTHEAST CORNER OF NATIONAL CITY, ABOUT 1-1/2 MILES NORTHWEST OF BONITA.

EARTHWORK:

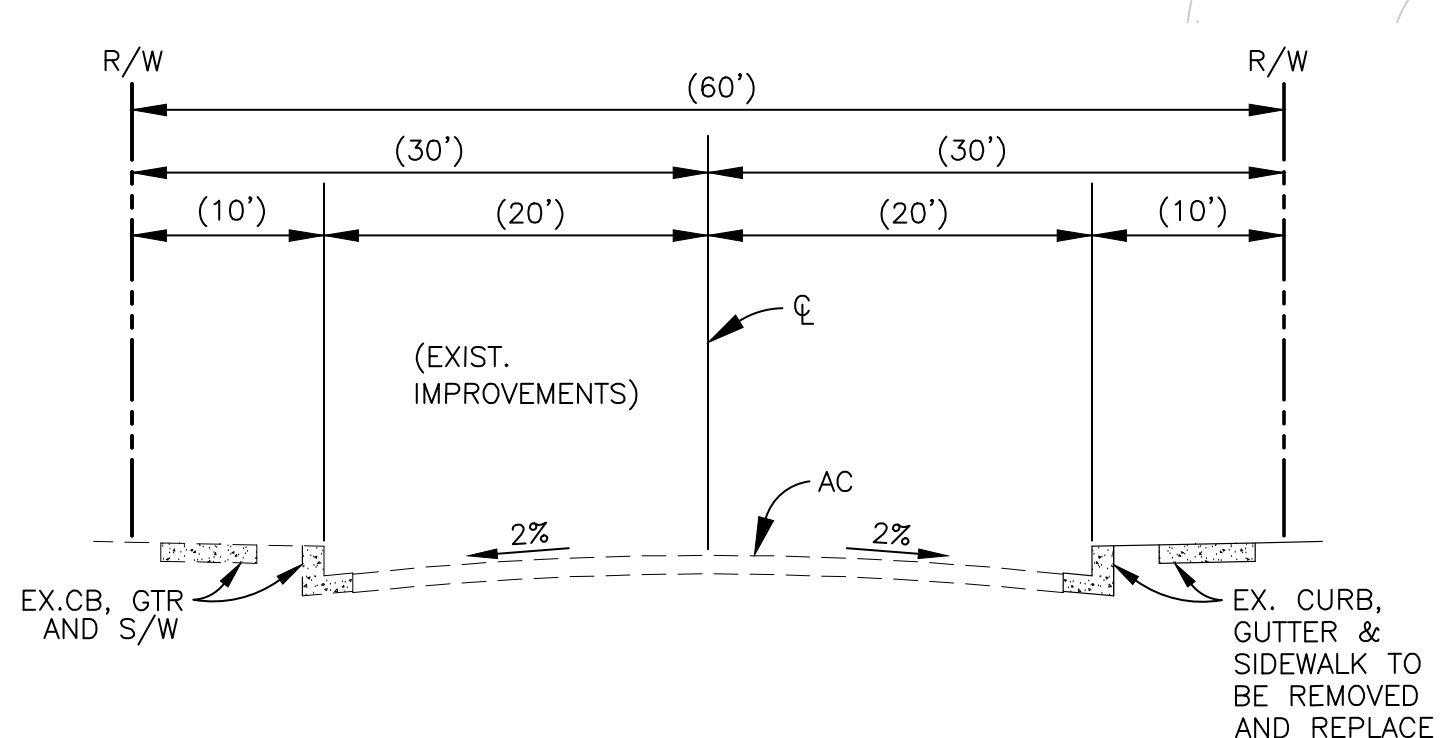
CUT: 1,255 C.Y.
FILL: 385 C.Y.
EXPORT: 870 C.Y.

TM NO. _____

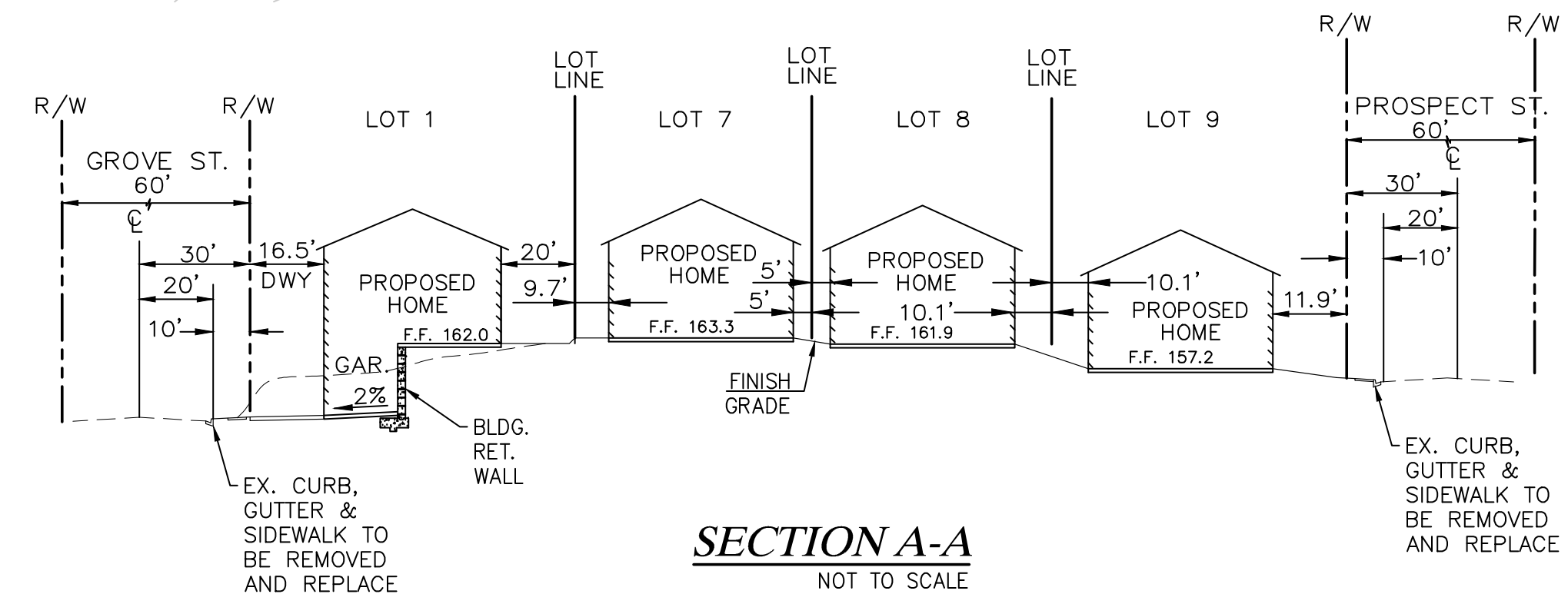
1ST SUBMITTAL: 12/20/2018
2ND SUBMITTAL: 05/ /2019
3RD SUBMITTAL:

DEVELOPMENT STANDARDS RS-2

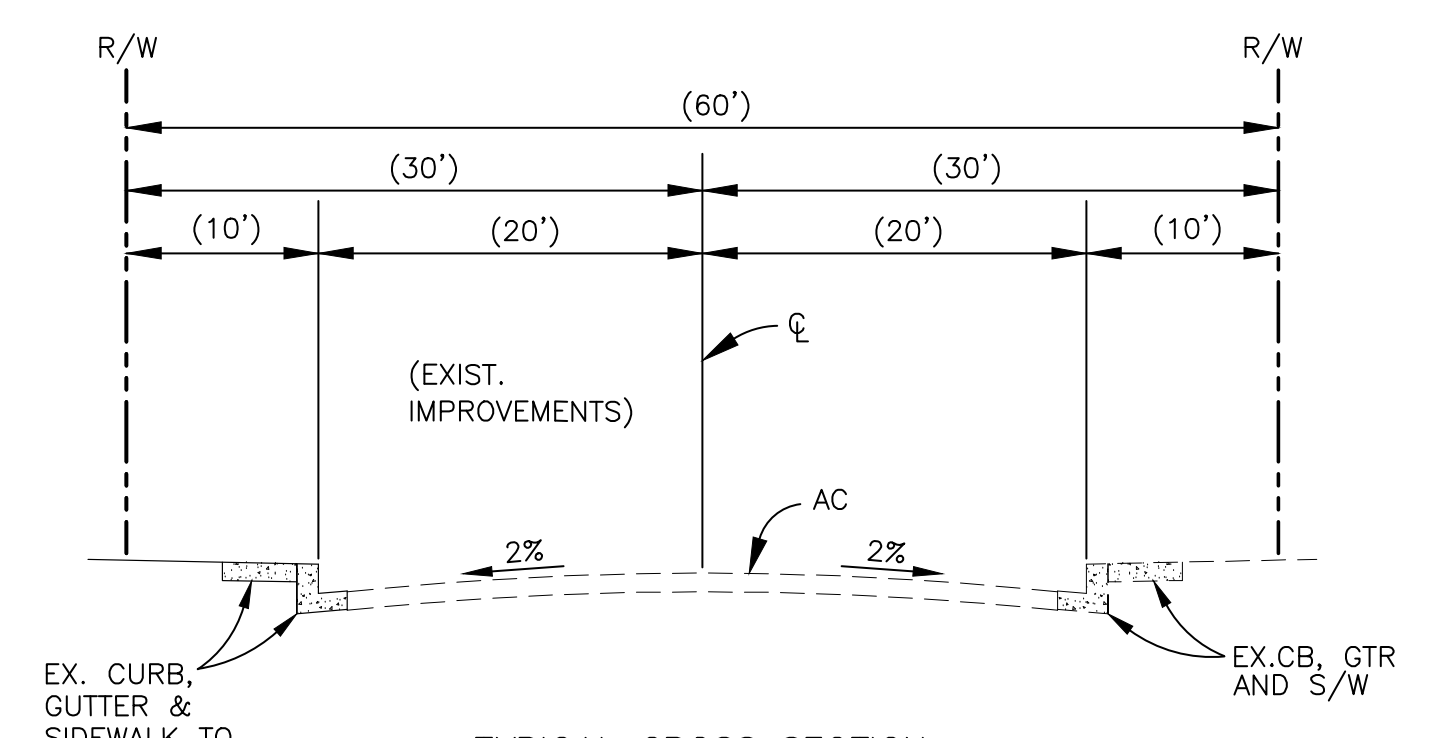
PRIMARY STRUCTURE MINIMUM SETBACKS	CITY STANDARD	DEVIATION
FRONT	20'	NONE
SIDE-INTERIOR	5'	0'
SIDE-EXTERIOR	10'	
REAR	25'	VARIOUS
MINIMUM LOT AREA	5,000 SF	2,556 SF
MINIMUM STREET FRONTAGE (STANDARD)	50'	
MINIMUM STREET FRONTAGE (LOTS ON THE BULB OF A CUL-DE-SAC)	36'	
MAXIMUM DENSITY	ONE D.U. PER LOT	NONE
MAXIMUM LOT COVERAGE	75%	NONE



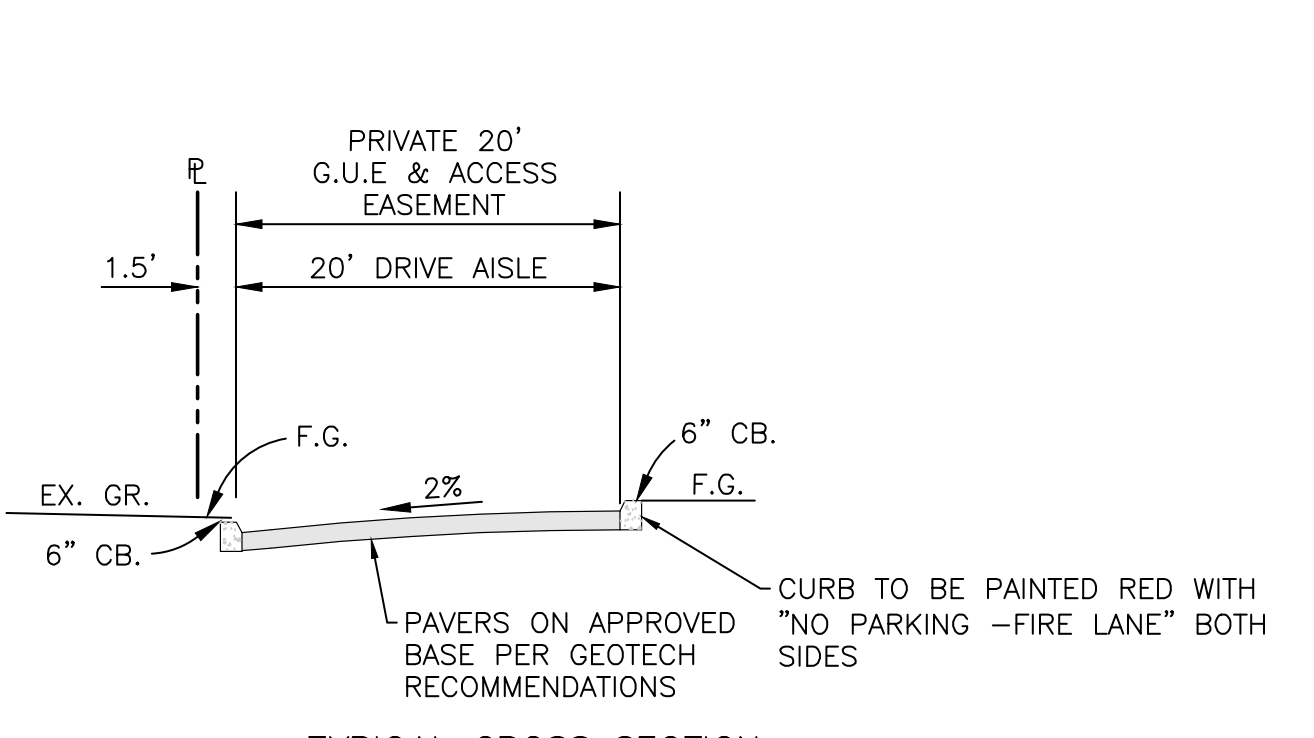
TYPICAL CROSS SECTION
GROVE STREET
NOT TO SCALE



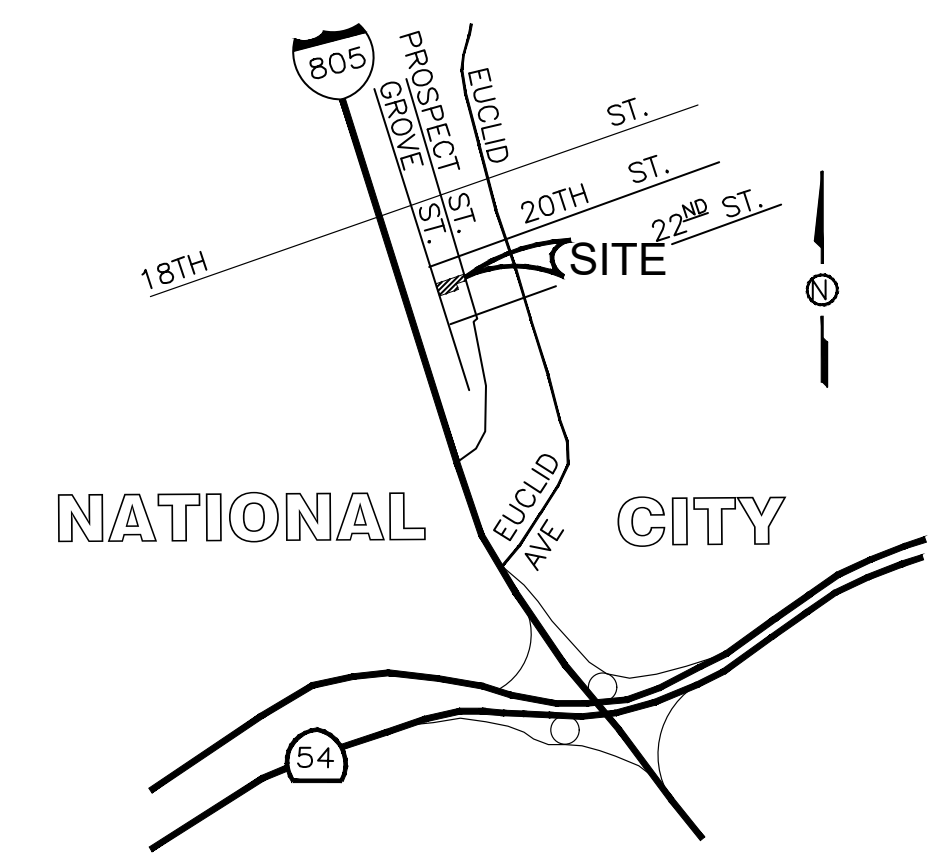
SECTION A-A
NOT TO SCALE



TYPICAL CROSS SECTION
PROSPECT STREET
NOT TO SCALE



TYPICAL CROSS SECTION
PRIVATE DRIVE AISLE
NOT TO SCALE



VICINITY MAP
NOT TO SCALE

AP CONSULTING
CIVIL ENGINEERING - WATER RESOURCES PLANNING
Tel. 619-227-8941
2371 Fenton Street, Suite 100
Chula Vista, CA 91914

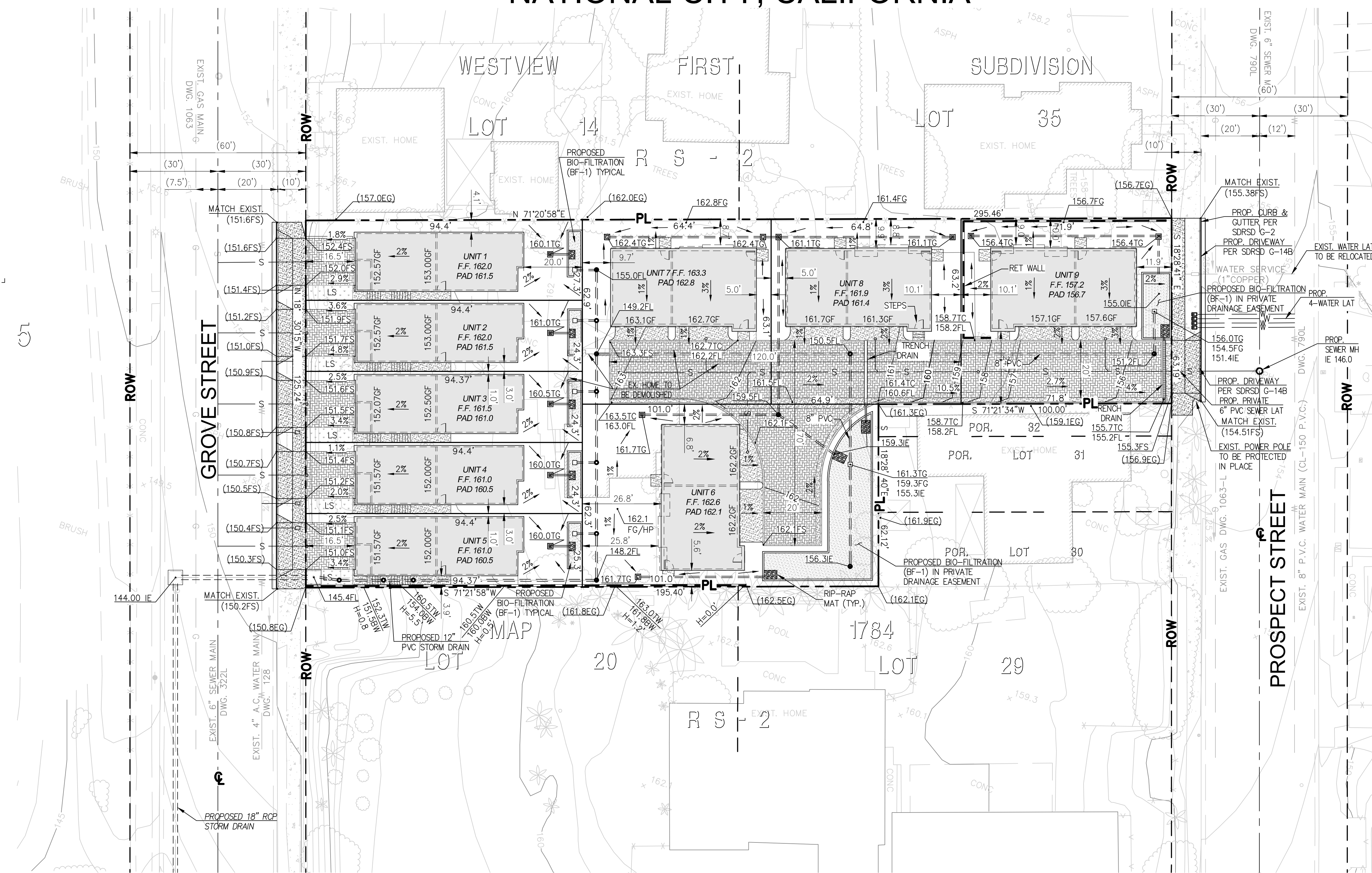
TM1

GROVE STREET TENTATIVE SUBDIVISION MAP

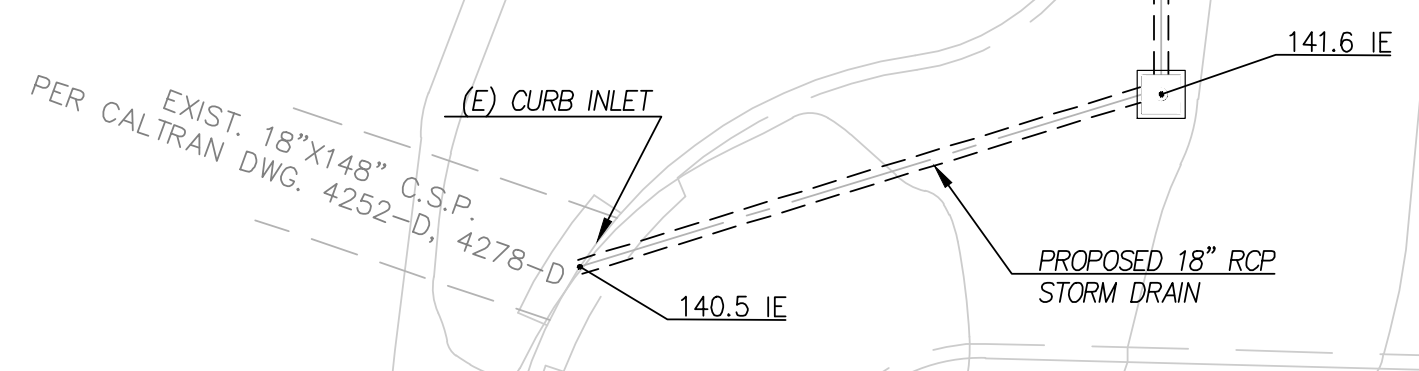
2121 GROVE STREET

NATIONAL CITY, CALIFORNIA

0.3
1-303



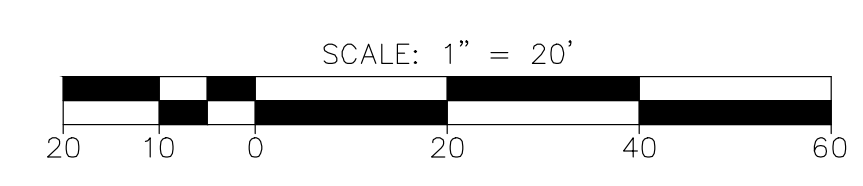
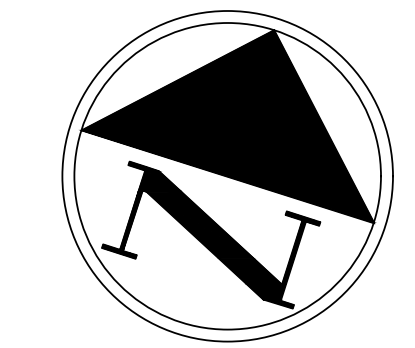
DEMOLITION NOTE:
ALL EXISTING STRUCTURES, HOME AND TREES WITHIN PROJECT SITE ARE TO BE REMOVED.



ENGINEER OF WORK:



VICTOR RODRIGUEZ-FERNANDEZ, R.C.E. NO. 35373



AP CONSULTING
CIVIL ENGINEERING - WATER RESOURCES PLANNING
Tel: 619-227-8941
2371 Fenton Street, Suite 100
Chula Vista, CA 91914

TM2

DEVELOPMENT STANDARDS RS-2		
PRIMARY STRUCTURE MINIMUM SETBACKS	CITY STANDARD	DEVIATION
FRONT	20'	NONE
SIDE-INTERIOR	5'	0'
SIDE-EXTERIOR	10'	
REAR	25'	VARIOUS
MINIMUM LOT AREA	5,000 SF	2,556 SF
MINIMUM STREET FRONTAGE (STANDARD)	50'	
MINIMUM STREET FRONTAGE (LOTS ON THE BULB OF A CUL-DE-SAC)	36'	
MAXIMUM DENSITY	ONE D.U. PER LOT	NONE
MAXIMUM LOT COVERAGE	75%	NONE

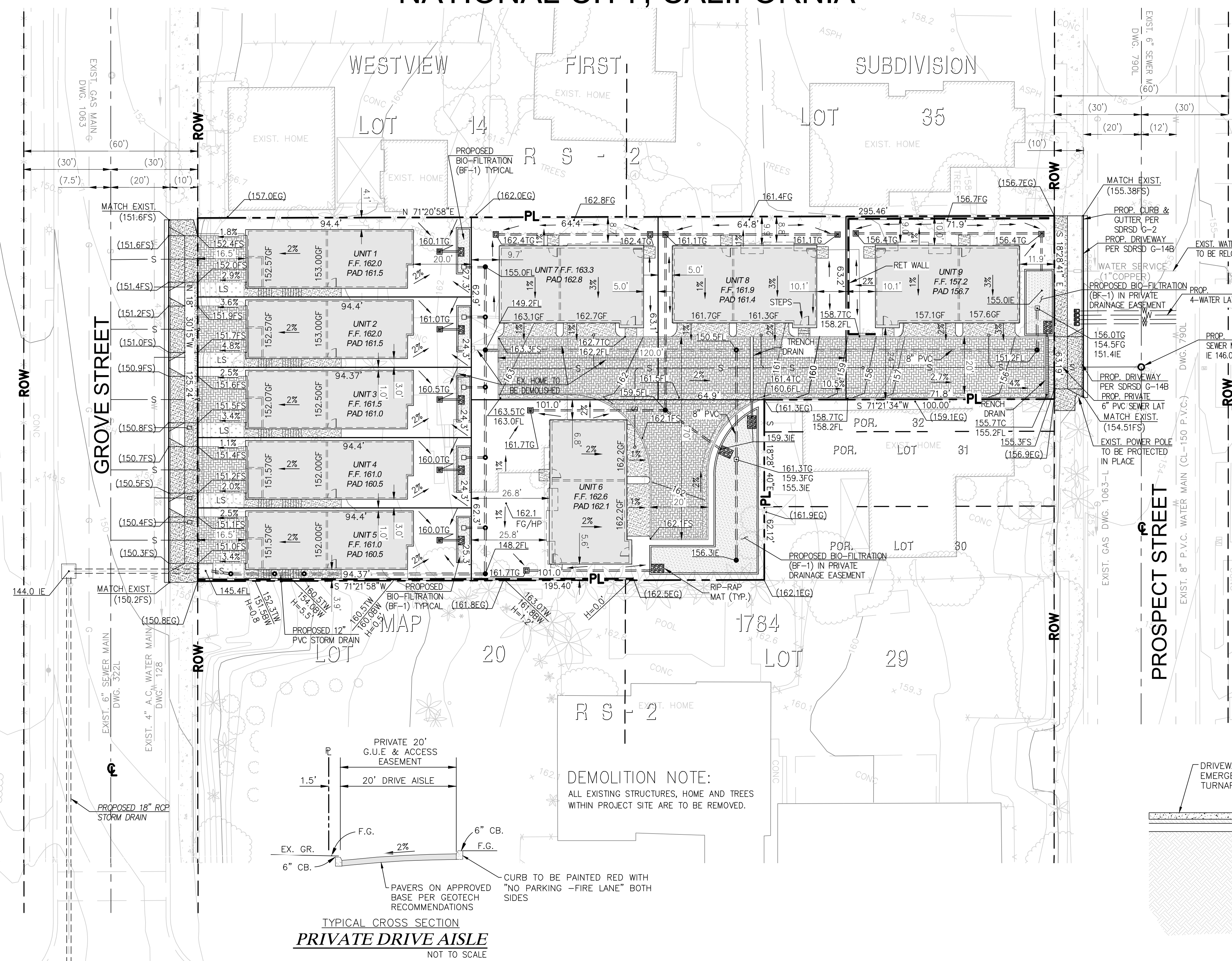
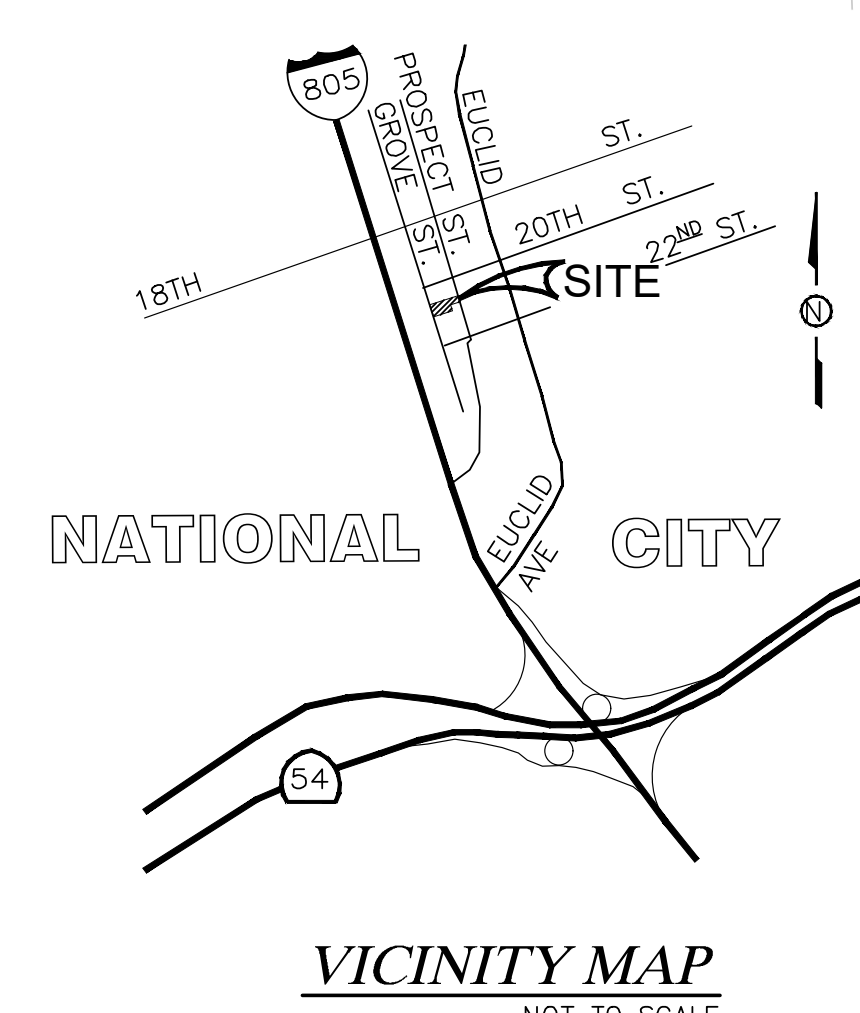
CONCEPTUAL GRADING AND DRAINAGE PLAN

2121 GROVE STREET

NATIONAL CITY, CALIFORNIA

LEGEND:

- EXISTING SPOT ELEVATION X (89.7)
- EXISTING SEWER S
- EXISTING GAS LINE G
- EXISTING WATER LINE W
- EXISTING EDGE OF PAVEMENT - - - - -
- CHAIN LINK FENCE X
- EXISTING CONTOUR - - - - -
- EXISTING STREET LIGHT - - - - -
- RIGHT-OF-WAY R/W
- STREET CENTERLINE C
- PROPOSED LOT - - - - -
- PROPOSED 20' G.U.E. & ACCESS EASEMENT - - - - -
- PROPOSED CONTOUR - - - - -
- PROPOSED WATER LATERAL W
- PROPOSED 6" SEWER LATERAL S
- PROPOSED STORM DRAIN (SIZE VARIES) D
- BIO-RETENTION LID AREAS [Symbol]
- PROPOSED RETAINING WALL [Symbol]
- PROPOSED STORM DRAIN CLEANOUT [Symbol]
- PROPOSED BROOKS BOX [Symbol]
- PROPOSED FRENCH DRAIN [Symbol]
- PROPOSED RIPRAP [Symbol]
- PROPOSED STORM DRAIN CLEANOUT [Symbol]
- PROPOSED PAVERS [Symbol]



OWNER / SUBDIVIDER

ARNOLD SCHMIDT
3175 CAUBY STREET #90
SAN DIEGO, CA 92110
(619) 224-0386

ARNOLD SCHMIDT

ENGINEER OF WORK:



VICTOR RODRIGUEZ-FERNANDEZ, R.C.E. NO. 35373

LEGAL DESCRIPTION

LOT 15, 16, 17, 18 AND 19 IN BLOCK 1 OF WESTVIEW FIRST SUBDIVISION, IN THE CITY OF NATIONAL CITY, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF No. 1784, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MARCH 6, 1924.

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EXCEPTING THEREFROM THE EASTERLY 100 FEET OF LOTS 30 AND 31, AND THE SOUTHERLY 12 FEET OF THE EASTERLY 100 FEET OF LOT 32 IN SAID BLOCK 1.

AERIAL TOPOGRAPHY

AERIAL TOPOGRAPHY SUPPLIED BY:
ARROW SURVEYS, INC.
1283 E. MAIN STREET, SUITE 204
EL CAJON, CA 92021
FLIGHT DATE: JANUARY 23, 2007

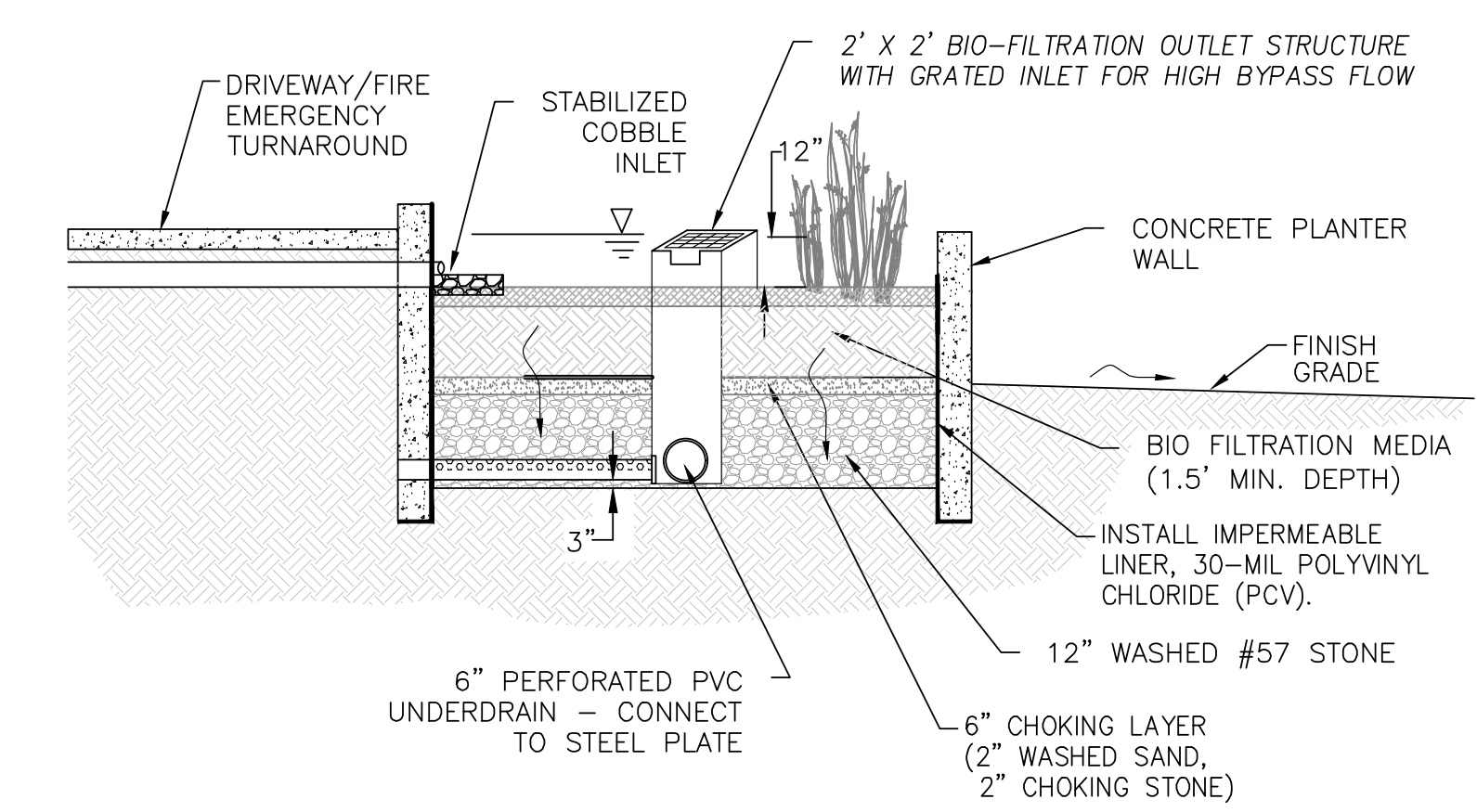
BENCH MARK

2" BRASS DISK SET IN 10" DIAMETER CONCRETE CYLINDER, THE STATION IS LOCATED AT THE SOUTHEAST CORNER OF NATIONAL CITY, ABOUT 1-1/2 MILES NORTHWEST OF BONITA.

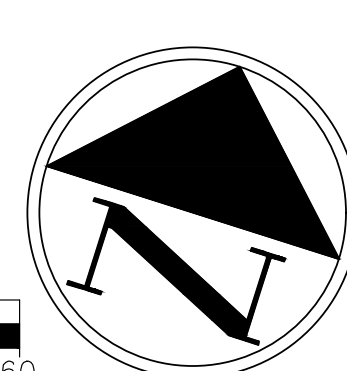
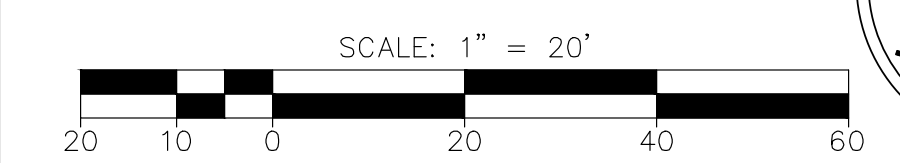
EARTHWORK:

CUT: 1,255 C.Y.
FILL: 385 C.Y.
EXPORT: 870 C.Y.

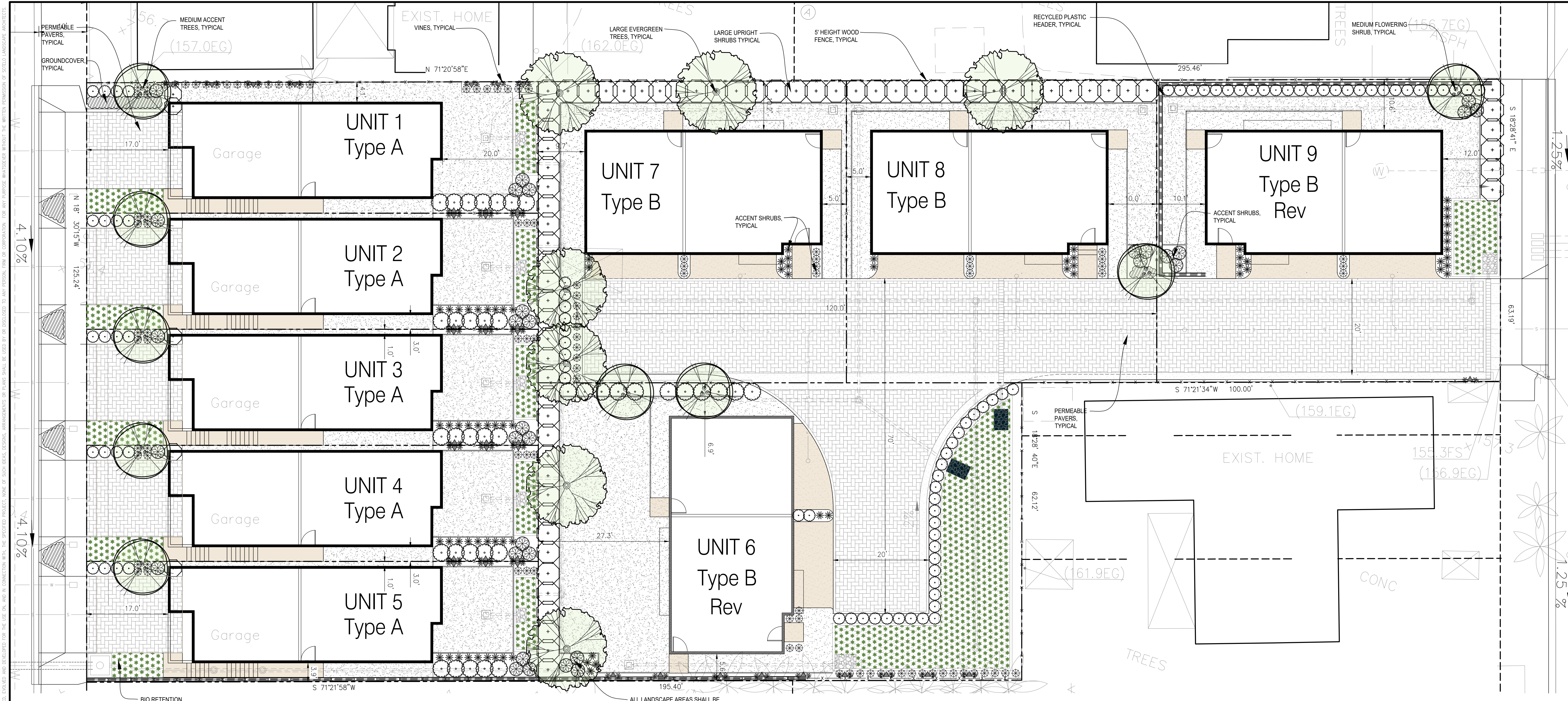
1ST SUBMITTAL: 12/20/2018
2ND SUBMITTAL: 05/ /2019
3RD SUBMITTAL:



OWNER INFORMATION	SITE INFORMATION	DEVELOPMENT STANDARDS RS-2		
NAME: ARNOLD SCHMIDT	A.P.N. 561-380-24	PRIMARY STRUCTURE MINIMUM SETBACKS	CITY STANDARD	DEVIATION
ADDRESS: 3175 CAUBY STREET #90	ADDRESS: 2121 GROVE STREET	FRONT	20'	NONE
CITY: SAN DIEGO	ADDRESS: NATIONAL CITY, CA 91950	SIDE-INTERIOR	5'	0'
STATE: CALIFORNIA	ZONE: RS-2	SIDE-EXTERIOR	10'	
ZIP: 92110	TOTAL AREA: 30,797 S.F. (0.707 ACRES)	REAR	25'	VARIOUS
PHONE: (619) 224-0386		MINIMUM LOT AREA	5,000 SF	2,556 SF
		MINIMUM STREET FRONTAGE (STANDARD)	50'	
		MINIMUM STREET FRONTAGE (LOTS ON THE BULB OF A CUL-DE-SAC)	36'	
		MAXIMUM DENSITY	ONE D.U. PER LOT	NONE
		MAXIMUM LOT COVERAGE	75%	NONE



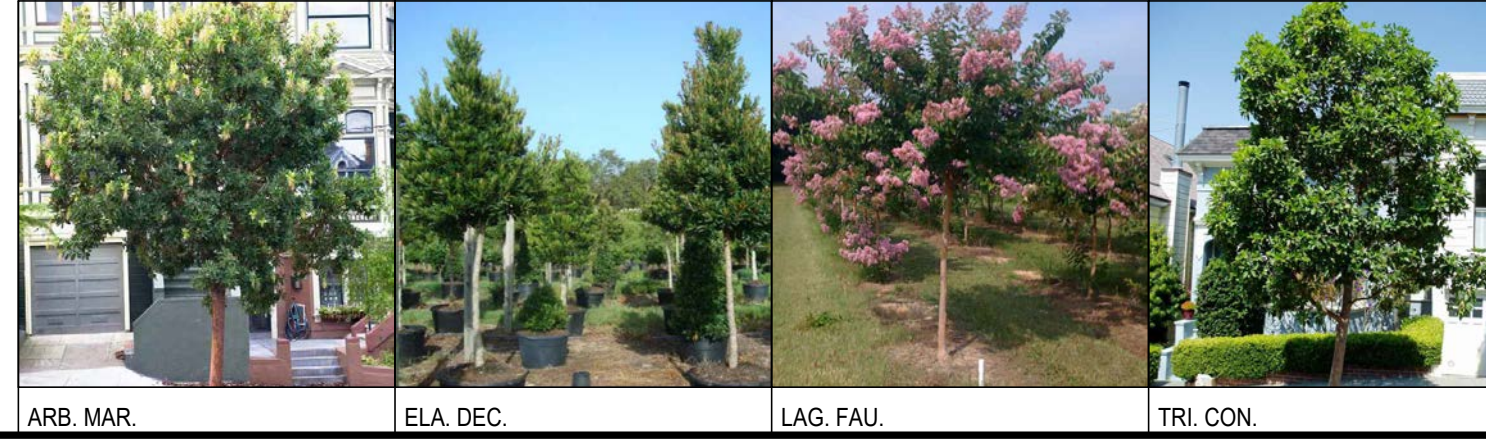
AP CONSULTING
CIVIL ENGINEERING - WATER RESOURCES
Tel. 619-227-8941
2371 Fenton Street, Suite 100
Chula Vista, CA 91914



PLANT LIST

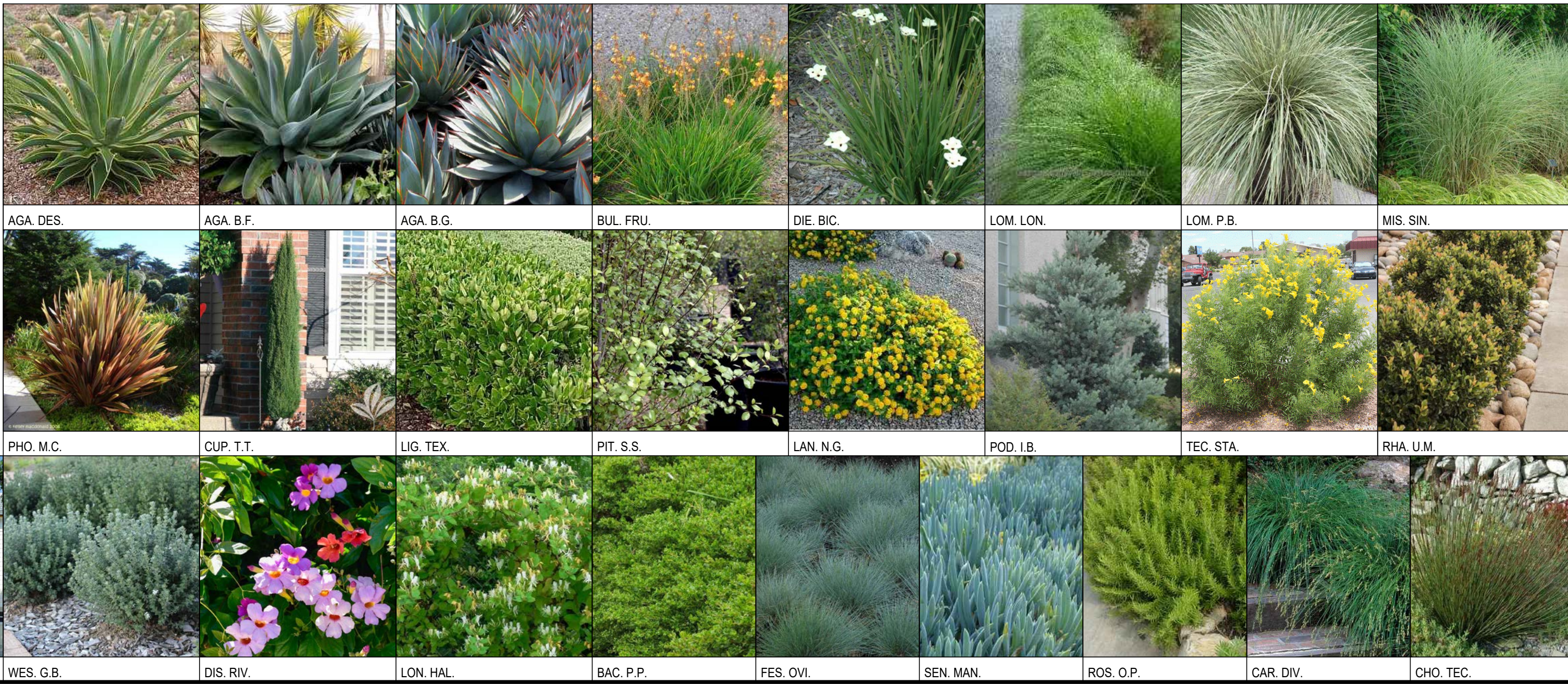
ABBR	SIZE	QTY	SCIENTIFIC NAME	COMMON NAME	WUCOLS
MEDIUM ACCENT TREES					
ARB. MAR.	24" BOX	#	ARBUTUS MARINA (MULTI-TRUNK)	STRAWBERRY TREE	L
ELA. L.E.	24" BOX	#	*ELAEOCARPUS DECIPUENS 'MONPROUD' (STD FORM)	LITTLE EMPEROR JAPANESE BLUEBERRY TREE	M
LAG. FAU.	24" BOX	#	LAGERSTROEMIA FAURIEI 'MUSKOGEE'	LAVENDER CRAPE MYRTLE	M
LARGE EVERGREEN TREES					
TRI. CON.	24" BOX	#	TRISTANIA CONFERTA	BRISBANE BOX	M
ACCENT SHRUBS					
AGA. DES.	5 GAL.	#	AGAVE DESMETTIANA 'VARIEGATA'	VARIEGATED SMOOTH AGAVE	L
AGA. B.F.	5 GAL.	#	AGAVE 'BLUE FLAME'	BLUE FLAME AGAVE	L
AGA. B.G.	5 GAL.	#	AGAVE 'BLUE GLOW'	BLUE GLOW AGAVE	L
BUL. FRU.	1 GAL.	#	BULBINE FRUTESCENS	STALKED BULBINE	L
DIE. BIC.	1 GAL.	#	DIETES BICOLOR	BICOLOR AFRICAN IRIS	L
LOM. LON.	1 GAL.	#	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	L
LOM. P.B.	1 GAL.	#	LOMANDRA 'PLANTINUM BEAUTY'	PLATINUM BEAUTY DWARF MAT RUSH	L
MIS. SIN.	1 GAL.	#	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT MAIDEN GRASS	M
PHO. M.C.	5 GAL.	#	PHORMIUM 'MAORI CHEIF'	MAORI CHEIF NEW ZEALAND FLAX	M
UPRIGHT SHRUBS					
CUP. T.T.	15 GAL.	#	CUPRESSUS TINY TOWER	DWARF ITALIAN CYPRESS	L
LIG. TEX.	5 GAL.	#	LIGUSTRUM J. 'TEXANUM'	TEXAS PRIVET	M
PIT. S.S.	5 GAL.	#	PITTIOSPORUM TENUIFOLIUM 'SILVER SHEEN'	SILVER SHEEN KOHUIHU	M
POD. I.B.	24" BOX	#	PODOCARPUS ICEE BLUE	ICEE BLUE YEW PINE	M
TEC. STA.	5 GAL.	#	TECOMA STANS	YELLOW BELLS	L

ABBR	SIZE	QTY	SCIENTIFIC NAME	COMMON NAME	WUCOLS
MEDIUM FLOWERING SHRUBS					
LAN. N.G.	5 GAL.	#	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	VL
RHA. U.M.	15 GAL.	#	RHAPHIOLEPIS UMBELLATA 'MINOR'	DWARF YEDDO HAWTHORN	L
WES. G.B.	5 GAL.	#	WESTRINGIA FRUTICOSA 'GREY BOX'	DWARF COAST ROSEMARY	L
VINES					
DIS. RIV.	15 GAL.	#	DISTICTIS 'RIVERS'	ROYAL TRUMPET VINE	M
LON. HAL.	5 GAL.	#	LONICERA JAPONICA 'HALLIANA'	HALL'S JAPANESE HONEYSUCKLE	L
GROUNDCOVERS					
BAC. P.P.	5 GAL.	#	BACCHARIS PIGEON POINT	DWARF COYOTE BRUSH	L
FES. OVI.	1 GAL.	#	FESTUCA OVINA	BLUE FESCUE	L
SEN. MAN.	FLATS	12" O.C.	SENECIO MANDRILSCAE	BLUE CHALK STICKS	L
ROS. O.P.	1 GAL.	#	ROSMARINUS OFFICINALIS PROSTRATUS	PROSTRATE ROSEMARY	VL
BIO RETENTION					
CAR. DIV.	1 GAL.	#	CAREX DIVULSA	GRASSLAND SEDGE	L
CHO. TEC.	1 GAL.	#	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	L



LANDSCAPE CONCEPT PLAN

SCALE 1"=10'-0"



LANDSCAPE CONCEPT PLAN

SHEET
L1.0